

7.1 INTENT

These architectural standards establish basic parameters regarding functional building element configuration and palettes for building materials. The architectural standards serve to establish a coherent character and encourage a high caliber, lasting quality of development. Buildings shall be reviewed by the CRC to verify that they meet the architectural standards (as well as the balance of this Code). The CRC may also work with the developer or designer to show them how to work within these requirements. In order to establish and maintain a sense of place, these standards specify an architectural aesthetic of load-bearing walls and regional materials. Buildings should reflect and complement the traditional materials and techniques of West St. Louis County. The standards also specify details, such as window proportions, roof or cornice configurations, storefronts, and overhangs.

7.2 ARCHITECTURAL STANDARDS

7.2.1 GENERAL TO ALL ZONES, T3, T4 AND T5

- a. All building materials to be used shall express their fundamental properties. For example, stronger and heavier materials (masonry) support lighter materials (wood).
- c. While only materials, techniques, and product types prescribed here are allowed, equivalent or better practices and products are encouraged. They may be submitted to the CRC for review.
- d. Additional products may be added to the list through a text amendment (administration) to this Code or may be allowed on a case by case basis through a modification.
- e. Many of these standards apply only in conditions where clearly visible from the street-space. Note that the definition of streetspace includes parks, plazas, squares, and civic greens but not alleys.
- f. These controls therefore concentrate on the public space/views from the public space and minimize interference in the private realm. For example, an architectural element that is visible only through an opening in a street wall is not clearly visible from the streetspace. A building element that is more than 30 feet behind the required building line does not meet the definition of where clearly visible from the street-space.
- g. Mandatory Terminated Vista designation requires or advises that the building be provided with architectural articulation of a type and character that responds visually to its axial location, as approved by the CRC. See Exhibit N for proposed locations of terminating view buildings or civic spaces.

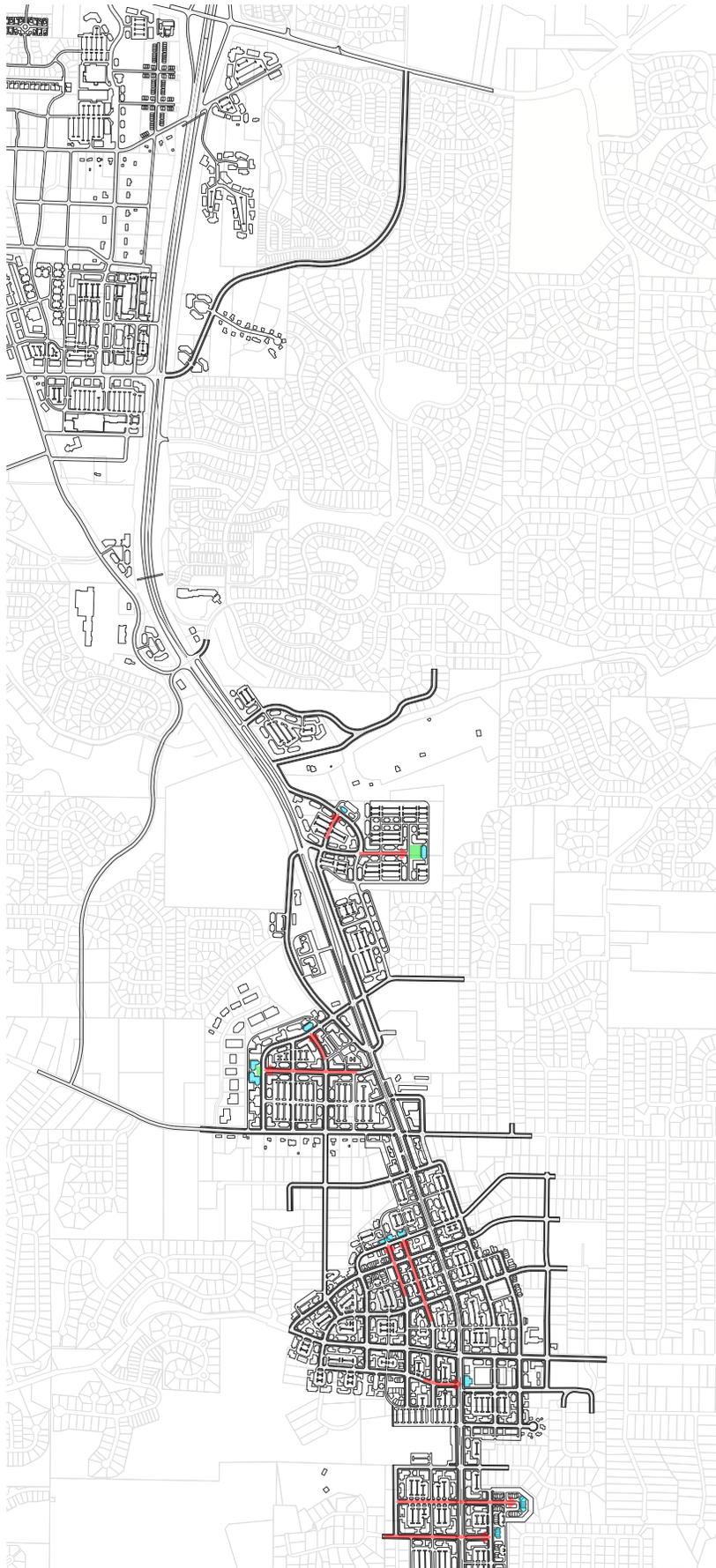
7.2.2 SPECIFIC TO ZONES T4 AND T5

a. Building Walls

Building walls should define the public realm - the street-space. All walls should express the construction techniques and structural constraints of traditional, long-lasting, building materials. Simple configurations and solid craftsmanship are favored over complexity and ostentation in building form and the articulation of details.

Primary Materials: Only the following materials are permitted (for 75 to 100 percent of the building wall surface area - per facade):

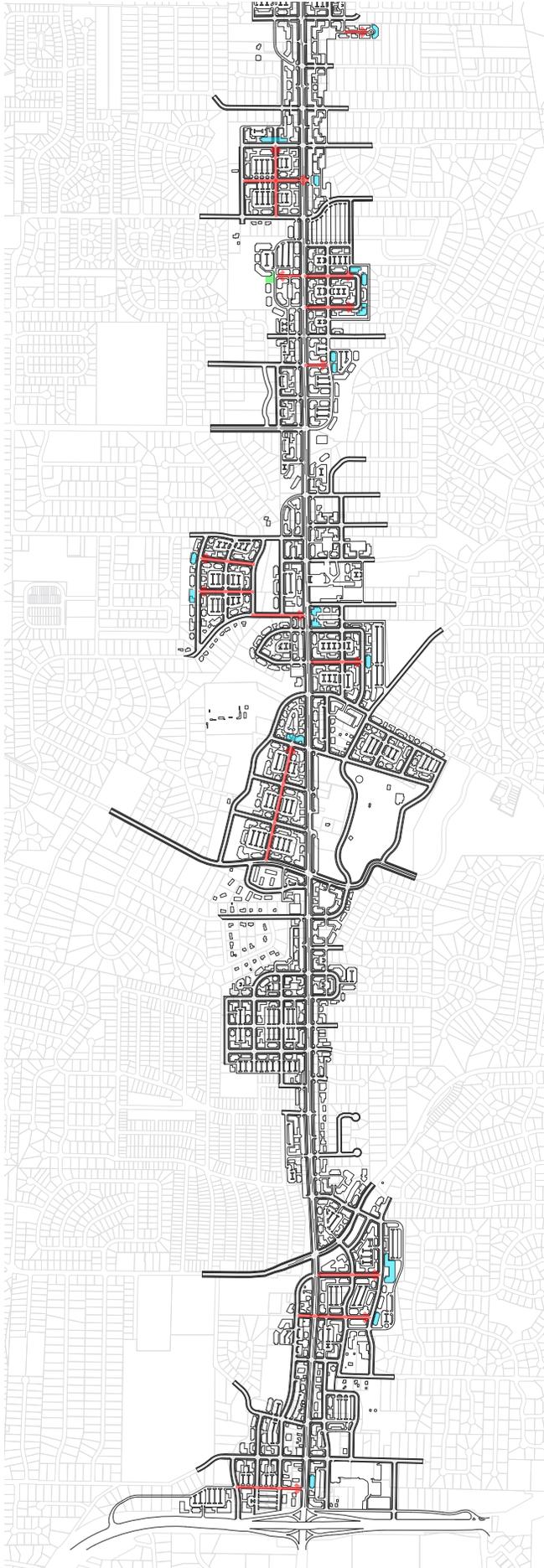
- Brick and tile masonry.
- Native stone (or synthetic equivalent).
- Wood – clapboard or shingles.
- Hardie-Plank™ equivalent or better siding.



Legend

- Terminating View Shed
- Terminating View - Building
- Terminating View - Open Space

North →



Legend

-  Terminating View Shed
-  Terminating View - Building
-  Terminating View - Open Space

North →

- Stucco (cementitious finish).

Secondary Materials: Only the following materials are permitted (maximum ten percent or less of building wall surface area - per facade):

- Pre-cast masonry (for trim and cornice elements only).
- Gypsum Reinforced Fiber Concrete (GFRC—for trim elements at or above the second story only).
- Metal (for beams, lintels, trim elements and ornamentation only).
- Urethane Fypon™ equivalent or better (for lintels, trim elements and ornamentation at or above the second story only).
- Split-faced block (only for piers, foundation walls and chimneys).
- Glass block (no closer than 30 inches to building corners).

Configurations and Techniques: The following configurations and techniques are permitted.

1. Walls

- Wall openings (fenestration): the horizontal dimension of the opening shall not exceed the vertical dimension except where otherwise prescribed in this Code (no more squat than square).
- Wall openings (fenestration) shall not span vertically more than one story.
- Wall openings (fenestration) shall correspond to the interior space and shall not span across building structure such as floor structural and mechanical thickness.
- Material changes shall be made with appropriate construction details for each abutting material—as where an addition (of a different material) is built onto the original building.

2. Wood Siding and Wood Simulation Materials

- Siding shall be in a lap (horizontal) configuration.
- Siding shall be smooth or rough-sawn finish (no faux wood grain).

3. Brick, Block and Stone

- All masonry shall be appropriately detailed and in load-bearing configurations commensurate with St. Louis traditions.

4. Stucco (cementitious finish)

- Finish coat shall be smooth or sand only, no roughly textured finish.
- Stucco shall not come in contact with the ground surface.

b. Roof and Parapets

Roofs and parapets should demonstrate common-sense recognition of the climate by utilizing appropriate pitch, drainage, and materials in order to provide visual coherence to the district. Roof forms are not interchangeable. The roof type is integral to the design of the building and its architectural character. The slope of a pitched roof is determined by local climatic conditions (such as the ability to shed snow loads) and physical properties of the roofing material. Roof types that have overhanging eaves, such as gabled or hipped roofs, should be of a dimension suitable for sun shade. Parapets are low guarding walls at the edge of roofs (usually flat) and are formed by extensions of the building facades. Cornices are crowning (trim) projections on a parapet code requires certain horizontal projection parameters, these should be designed to be appropriate for the style of the building proportionate for the dimensions of the façade.

Materials: Only the following materials are permitted:

- Clay or concrete (faux clay).
- Tile (beavertail or flat roman).
- Slate (and equivalent synthetic or better).
- Metal (standing seam, equivalent or better).
- Dimensional Architectural Grade composition shingles.
- Cornices and soffits may be a combination of wood, vinyl, and/or metal.
- Gutters and Downspouts may be vinyl, and/or metal.

Configurations and Techniques: The following configurations and techniques are permitted.

Parapet Roofs: Allowed for Storefront General, General Urban, Workshop, and Small Apartment/Townhouse frontage sites where the roof material is not visible from any adjacent street-space.

Pitched Roofs (exclusive of roofs behind parapet walls):

- Simple hip and gable roofs shall be symmetrically pitched between 5:12 and 10:12.
- Shed roofs, attached to the main structure, shall be pitched between 3:12 and 8:12.

Overhang Requirements:

- Eaves shall overhang 18 to 30 inches on the primary structure for the initial four stories. For each additional story; four inches shall be added to the minimum and 12 inches shall be added to the maximum, up to a maximum projection of six feet.
- Eaves and rakes on accessory buildings, dormers, and other smaller structures shall overhang at least eight inches.
- Timber eaves and balcony brackets shall be a minimum of four inches by four inches in dimension.

Cornices and Other Features:

- Buildings without visible roof surfaces and overhanging eaves may satisfy the overhang requirement with a cornice or similar form projecting from the top of the building wall horizontally between 6 and 12 inches beyond the building walls on the primary structure for the initial four stories. For each additional story, three inches shall be added to the minimum and 12 inches shall be added to the maximum, up to a maximum projection of five feet.
- Skylights and roof vents are permitted only on the roof plane opposite the street-space (or required building line) or when shielded from street-space view by the building's parapet wall

c. Street Walls and Garden Walls

Property lines are physically defined by buildings, walls, or fences. Land should be clearly public or private—in public view and under surveillance or private and protected. Street walls and garden walls establish a clear edge to the street-space where the buildings do not. These requirements include masonry walls that define outdoor spaces and separate the street-space from the private realm (e.g. parking lots, trash cans, gardens, and equipment). All street wall and garden wall faces shall be as carefully designed as the building façade, with the finished side out (i.e. the “better” side facing the street-space). A street wall is a masonry wall set back not more than eight inches from the required building line or adjacent building façade and built specified in the building envelope standards.

Materials: Only the following materials are permitted:

- Native/regional stone and equivalent or better imitation stone.
- Metal (wrought iron, welded steel and/or electro-statically plated black aluminum) - may be used for gates.
- Brick.
- Stucco on concrete block or poured concrete (only when a brick or stone coping is provided).
- A combination of materials (e.g. stone piers with brick infill panels).
- Wood - may be used only for gates.

Configurations and Techniques: The following configurations and techniques are permitted.

- Street walls along any unbuilt required building line shall be built to the height and length specified in the building envelope standard.
- Metal work may additionally be treated to imitate a copper patina.
- Copings shall project between one inch and four inches from the face of the street wall.
- Street walls and garden walls taller than 4 feet shall be subject to the fenestration requirements of their BES frontage.

d. Windows and Doors

The placement, type, and size of windows and doors on the facade largely establishes the scale and vitality of the street-space. For commercial buildings, they allow interplay between the shop interiors and the street-space. Commercial uses (especially restaurants and retail establishments) benefit from exposure to the passers-by and the street-space benefits from the visual activity. For residences, they form the “eyes on the street” surveillance which provides for the security and safety for the area. Windows should be divided by multiple panes of glass. This helps the window hold the surface of the façade, rather than appearing like a “hole” the wall (an effect produced by a large single sheet of glass).

Materials: Only the following materials are permitted:

- Window frames shall be of anodized aluminum, wood, clad wood, vinyl, or steel.
- Window glass shall be clear, with light transmission at the ground story at least 90 percent and for the upper stories 75 percent (modification as necessary to meet any applicable building and energy code requirements).
- Specialty windows (one per façade maximum) may utilize stained or opalescent glass, or glass block.
- Window screens shall be black or gray.
- Screen frames shall match the window frame material or be dark anodized.
- Doors shall be of wood, clad wood, or steel and may include glass panes.
- Shutter materials may be painted wood or clad wood.

Configurations and Techniques: The following configurations and techniques are permitted:

All Windows - The following requirements apply to all windows:

- The horizontal dimension of the opening may not exceed the vertical dimension except where otherwise prescribed in this Code (no more

squat than square).

- Windows may be ganged horizontally if each maximum five per group) is separated by a mullion, column, pier or wall section that is at least seven inches wide.
- Windows (not doors) may be no closer building corners (excluding bay windows and storefronts).
- Exterior shutters, if applied, shall mounted appropriately for the window (one-half the width) even if inoperable.
- Window panes shall be recessed wall surface a minimum of three inches, except for bay windows and storefronts.
- Snap-in mullions and muntins permitted but not considered in any proportion calculation/ measurement.

Upper-story Windows - The following requirements apply to all upper-story windows:

- Windows may be double-hung, single-hung, awning, or casement windows.
- Fixed windows are permitted only as a component of a system including operable windows within a single wall opening. Residential buildings/ floors: panes of glass no larger than 36" vertical by 30" horizontal. The maximum pane size for office uses is 48" vertical by 42" horizontal. Egress windows may be installed as required by the appropriate building code.

Storefront Windows - The following apply to storefront (ground story) windows and doors:

- Single panes of glass shall not be permitted larger than eight feet in height by four feet in width.
- Ground story windows may not be made opaque by window treatments (excepting operable sunscreen devices within the conditioned space).
- A minimum of 80 percent of the window surface shall allow a view into the building interior for a depth of at least 15 feet.
- Storefronts may extend up to 24 inches beyond the façade or required building line into the dooryard.

Doors:

- Double-height entryways (those that span more than one story) shall not be permitted.
 - A door may not be recessed more than three feet behind its facade or its storefront and, in any case, shall have a clear view and path to a 45-degree angle past the perpendicular from each side of the door.
- a. Designations for Mandatory and/or Recommended Retail Frontage requiring or advising that a building provide a Shopfront at Sidewalk level along the entire length of its Private Frontage. The Shopfront shall be no less than 70% glazed in clear glass and shaded by an awning overlapping the Sidewalk as specified in Article 5. The first floor shall be confined to Retail use through the depth of the second Layer.
 - b. Designations for Mandatory and/or Recommended Gallery Frontage, requiring or advising that a building provide a permanent cover over the Sidewalk, either cantilevered or supported by columns. The Gallery Frontage designation may be combined with a Retail Frontage designation.

8.1 INTRODUCTION

8.1.1 Form-Based Code is unlike traditional Uclidian Zoning code in that it is not intended to regulate land uses and create separation between uses. Instead, it suggests how building fuctions and uses may best take form within the transects.

8.2 APPLICATION OF FUNCTION AND USE STANDARDS

8.2.1 GENERAL TO ZONES T3, T4, T5

a. Buildings in each Transect Zone shall conform to the Functions on Table 10. Functions that do not conform shall require approval by Warrant or Variance as specified on Table 10.

8.2.2 SPECIFIC TO ZONES T5

a. First Story Commercial Functions shall be permitted.
b. Manufacturing Functions within the first Story may be permitted by Variance.

TABLE 10. SPECIFIC FUNCTION & USE

Manchester Road Form-Based Code

Specific Function & Use. This table expands to specific Functions and uses within Transect Zones. The category “HD” is the City of Manchester Historic District.

	T3	T4	T5	HD
a. RESIDENTIAL				
Mixed Use Block	■	■	■	■
Flex Building	■	■	■	■
Apartment Building	■	■	■	■
Live/Work Unit	■	■	■	□
Row House	■	■	■	■
Duplex House	■	■	■	■
Courtyard House	■	■	■	■
Sideyard House	■	■	■	■
Cottage	■	■	■	■
House	■	■	■	■
Villa	■	■	■	■
Accessory Unit	■	■	■	■
b. LODGING				
Hotel (no room limit)	■	■	■	□
Inn (up to 12 rooms)	■	■	■	□
Bed & Breakfast (up to 5 rooms)	■	■	■	■
S.R.O. hostel	□	□	□	□
School Dormitory	■	■	■	■
c. OFFICE				
Office Building	■	■	■	□
Live-Work Unit	■	■	■	□
d. RETAIL				
Open-Market Building	■	■	■	■
Retail Building	■	■	■	□
Display Gallery	■	■	■	■
Restaurant	■	■	■	□
Kiosk	■	■	■	□
Push Cart	■	■	□	□
Single Occupant Store over 50,000 square feet	■	□	□	■
Adult Entertainment	■	■	■	■
e. CIVIC				
Bus Shelter	■	■	■	■
Conference Center	■	■	□	■
Fountain or Public Art	■	■	■	■
Library	■	■	■	■
Live Theater	■	■	■	■
Movie Theater	■	■	■	□
Museum	■	■	■	■
Outdoor Auditorium	■	■	■	■
Parking Structure	■	□	■	□
Passenger Terminal	■	■	■	□
Playground	■	■	■	■
Sports Field	■	■	□	□
Surface Parking Lot	■	■	■	□
Place of Worship	■	■	■	■

	T3	T4	T5	HD
f. OTHER: AGRICULTURE				
Grain Storage	■	□	■	■
Livestock Pen	■	□	■	■
Greenhouse	■	□	■	■
Stable	■	□	■	■
Kennel	■	□	□	■
g. OTHER: AUTOMOTIVE				
Gas station	■	■	□	■
Automobile Sales/Rental	■	■	■	■
Automobile Service/Repair	■	■	□	■
Truck Maintenance	■	□	■	■
Drive-through/ in Facility	■	□	□	■
Rest Stop	■	□	■	■
Roadside Stand	■	□	■	□
Billboard	■	□	■	■
Shopping Center	■	■	■	■
Shopping Mall	■	□	■	■
h. OTHER: CIVIL SUPPORT				
Fire Station	■	■	■	□
Police Station	■	■	■	□
Cemetery	■	□	■	■
Funeral Home	■	■	■	□
Hospital	■	■	□	■
Medical Clinic	■	□	■	■
i. OTHER: EDUCATION				
College	■	■	□	■
High School	■	■	■	■
Trade School	■	□	□	■
Elementary School	■	■	■	■
Other- Childcare Center	■	■	■	□
j. OTHER: INDUSTRIAL				
Heavy Industrial Facility	■	■	■	■
Light Industrial Facility	■	■	■	■
Wholesale storage	■	□	■	■
Laboratory Facility	■	■	■	□
Water Supply Facility	■	□	■	■
Sewer and Waste Facility	■	□	■	■
Electric Substation	■	□	□	■
Wireless Transmitter	■	□	■	■
Cremation Facility	■	□	■	■
Warehouse	■	□	■	■
Produce Storage	■	□	■	■
Mini-Storage	■	■	■	■

■ BY RIGHT
□ BY WARRANT

DEFINITIONS

This Article provides definitions for terms in this Code that are technical in nature or that otherwise may not reflect a common usage of the term. If a term is not defined in this Article, then the CRC shall determine the correct definition. Items in italics refer to *Articles*, *Sections*, or *Tables* in the SmartCode.

A-Grid: cumulatively, those Thoroughfares that by virtue of their pre-existing pedestrian-supportive qualities, or their future importance to pedestrian connectivity, are held to the highest standards prescribed by this Code. See B-Grid. (Syn: primary grid.)

Accessory Building: an Outbuilding with an Accessory Unit.

Accessory Unit: an Apartment not greater than 440 square feet sharing ownership and utility connections with a Principal Building; it may or may not be within an Outbuilding. (Syn: ancillary unit)

Affordable Housing: dwellings consisting of rental or for-sale units that have a rent (including utilities) or mortgage payment typically no more than 30% of the income of families earning no more than 80% of median incomes by family size for the county. (Alt. definition: rental or for-sale dwellings that are economically within the means of the starting salary of a local elementary school teacher.)

Allee: a regularly spaced and aligned row of trees usually planted along a Thoroughfare or Path.

Apartment: a Residential unit sharing a building and a Lot with other units and/or uses; may be for rent, or for sale as a condominium.

Arcade: a Private Frontage conventional for Retail use wherein the Facade is a colonnade supporting habitable space that overlaps the Sidewalk, while the Facade at Sidewalk level remains at the Frontage Line.

Attic: the interior part of a building contained within a pitched roof structure.

Avenue (AV): a Thoroughfare of high vehicular capacity and low to moderate speed, acting as a short distance connector between urban centers, and usually equipped with a landscaped median.

B-Grid: cumulatively, those Thoroughfares that by virtue of their use, location, or absence of pre-existing pedestrian-supportive qualities, may meet a standard lower than that of the A-Grid. See **A-Grid**. (Syn: secondary grid.)

BRT: see **Bus Rapid Transit**.

Backbuilding: a single-Story structure connecting a Principal Building to an Outbuilding.

Base Density: the number of dwelling units per acre before adjustment for other Functions and/or TDR. See **Density**.

Bed and Breakfast: an owner-occupied Lodging type offering 1 to 5 bedrooms, permitted to serve breakfast in the mornings to guests.

Bicycle Lane (BL): a dedicated lane for cycling within a moderate-speed vehicular Thoroughfare, demarcated by striping.

Bicycle Route (BR): a Thoroughfare suitable for the shared use of bicycles and automobiles moving at low speeds.

Bicycle Trail (BT): a bicycle way running independently of a vehicular Thoroughfare.

Block: the aggregate of private Lots, Passages, Rear Alleys and Rear Lanes, circumscribed by Thoroughfares.

Block Face: the aggregate of all the building Facades on one side of a Block.

Boulevard (BV): a Thoroughfare designed for high vehicular capacity and moderate speed, traversing an Urbanized area. Boulevards are usually equipped with Slip Roads buffering Sidewalks and buildings.

Brownfield: an area previously used primarily as an industrial site.

Bus Rapid Transit: a rubber tire system with its own right-of-way or dedicated lane along at least 70% of its route, providing transit service that is faster than a regular bus.

By Right: characterizing a proposal or component of a proposal for a Infill Community Scale Plan or Building Scale Plan (*Article 2 or Article 3*) that complies with the SmartCode and is permitted and processed administratively, without public hearing. See **Warrant** and **Variance**.

CLD or Clustered Land Development: a Community Unit type structured by a Standard Pedestrian Shed oriented toward a Common Destination such as a general store, Meeting Hall, schoolhouse, or church. CLD takes the form of a small settlement standing free in the countryside. (Syn: Hamlet, Conservation Land Development, cluster)

CRC: Consolidated Review Committee.

Civic: the term defining not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking.

Civic Building: a building operated by not-for-profit organizations dedicated to arts, culture, education, recreation, government, transit, and municipal parking, or for use approved by the legislative body.

Civic Parking Reserve: Parking Structure or parking lot within a quarter-mile of the site that it serves.

Civic Space: an outdoor area dedicated for public use. Civic Space types are defined by the combination of certain physical constants including the relationships among their intended use, their size, their landscaping and their Enfronting buildings.

Civic Zone: designation for public sites dedicated for Civic Buildings and Civic Space.

Commercial: the term collectively defining workplace, Office, Retail, and Lodging Functions.

Common Destination: An area of focused community activity, usually defining the approximate center of a Pedestrian Shed. It may include without limitation one or more of the following: a Civic Space, a Civic Building, a Commercial center, or a transit station, and may act as the social center of a neighborhood.

Common Yard: a planted Private Frontage wherein the Facade is set back from the Frontage line. It is visually continuous with adjacent yards.

Community Unit: a regulatory category defining the physical form, Density, and extent of a settlement. The three Community Unit types addressed in this Code are CLD, TND, and RCD. Variants of TND and RCD for Infill (*Article 2*) are called Infill

TND and Infill RCD. The TOD Community Unit type may be created by an overlay on TND or RCD.

Configuration: the form of a building, based on its massing, Private Frontage, and height.

Consolidated Review Committee (CRC): Usually part of the Planning Office, a CRC is comprised of a representative from each of the various regulatory agencies that have jurisdiction over the permitting of a project, as well as a representative of the Development and Design Center. *See Section 1.4.3.*

Corridor: a lineal geographic system incorporating transportation and/or Greenway trajectories. A transportation Corridor may be a lineal Transect Zone.

Cottage: an Edgeyard building type. A single-family dwelling, on a regular Lot, often shared with an Accessory Building in the back yard.

Courtyard Building: a building that occupies the boundaries of its Lot while internally defining one or more private patios.

Curb: the edge of the vehicular pavement that may be raised or flush to a Swale. It usually incorporates the drainage system.

DDC: Development and Design Center.

Density: the number of dwelling units within a standard measure of land area.

Design Speed: is the velocity at which a Thoroughfare tends to be driven without the constraints of signage or enforcement. There are four ranges of speed: Very Low: (below 20 MPH); Low: (20-25 MPH); Moderate: (25-35 MPH); High: (above 35 MPH). Lane width is determined by desired Design Speed.

Developable Areas: lands other than those in the Flood Hazard Area.

Disposition: the placement of a building on its Lot.

Dooryard: a Private Frontage type with a shallow Setback and front garden or patio, usually with a low wall at the Frontage Line. (Variant: **Lightwell**, light court.)

Drive: a Thoroughfare along the boundary between an Urbanized and a natural condition, usually along a waterfront, Park, or promontory. One side has the urban character of a Thoroughfare, with Sidewalk and building, while the other has the qualities of a Road or parkway, with naturalistic planting and rural details.

Driveway: a vehicular lane within a Lot, often leading to a garage.

Drive-through / Drive-in Facility: A place of business including drive-through banks or teller windows, drive-through eating and drinking establishments, drive-through windows at liquor or other stores, or at laundry and dry cleaning agencies, car washes, and similar facilities, but excludes automotive service stations.

Edgeyard Building: a building that occupies the center of its Lot with Setbacks on all sides.

Effective Parking: the amount of parking required for Mixed Use after adjustment by the Shared Parking Factor.

Effective Turning Radius: the measurement of the inside Turning Radius taking parked cars into account.

Elevation: an exterior wall of a building not along a Frontage Line. See: **Facade.**

Encroach: to break the plane of a vertical or horizontal regulatory limit with a structural element, so that it extends into a Setback, into the Public Frontage, or above a height limit.

Encroachment: any structural element that breaks the plane of a vertical or horizontal regulatory limit, extending into a Setback, into the Public Frontage, or above a height limit.

Enfront: to place an element along a Frontage, as in “porches Enfront the street.”

Estate House: an Edgeyard building type. A single-family dwelling on a very large Lot of rural character, often shared by one or more Accessory Buildings. (Syn: country house, villa)

Expression Line: a line prescribed at a certain level of a building for the major part of the width of a Facade, expressed by a variation in material or by a limited projection such as a molding or balcony. (Syn: transition line.)

Extension Line: a line prescribed at a certain level of a building for the major part of the width of a Facade, regulating the maximum height for an Encroachment by an Arcade Frontage.

Facade: the exterior wall of a building that is set along a Frontage Line. *See Elevation.*

Forecourt: a Private Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back.

Frontage: the area between a building Facade and the vehicular lanes, inclusive of its built and planted components. Frontage is divided into **Private Frontage** and **Public Frontage**.

Frontage Line: a Lot line bordering a Public Frontage. Facades facing Frontage Lines define the public realm and are therefore more regulated than the Elevations facing other Lot Lines.

Function: the use or uses accommodated by a building and its Lot, categorized as *Restricted*, *Limited*, or *Open*, according to the intensity of the use.

Gallery: a Private Frontage conventional for Retail use wherein the Facade is aligned close to the Frontage Line with an attached cantilevered shed or lightweight colonnade overlapping the Sidewalk.

GIS (Geographic Information System): a computerized program in widespread municipal use that organizes data on maps. The protocol for preparing a *Regional Plan* should be based on GIS information.

Green: a Civic Space type for unstructured recreation, spatially defined by landscaping rather than building Frontages.

Greenfield: an area that consists of open or wooded land or farmland that has not been previously developed.

Greenway: an Open Space Corridor in largely natural conditions which may include trails for bicycles and pedestrians.

Greyfield: an area previously used primarily as a parking lot. Shopping centers and shopping malls are typical Greyfield sites. (Variant: Grayfield.)

Growth Sector: one of four Sectors where development is permitted By Right in the SmartCode, three for New Communities and one for Infill.

Hamlet: See **CLD**. (Syn: cluster, settlement.)

Highway: a rural and suburban Thoroughfare of high vehicular speed and capacity. This type is allocated to the more rural Transect Zones (T-1, T-2, and T-3).

Home Occupation: non-Retail Commercial enterprises. The work quarters should be invisible from the Frontage, located either within the house or in an Outbuilding. Permitted activities are defined by the Restricted Office category.

House: an Edgeyard building type, usually a single-family dwelling on a large Lot, often shared with an Accessory Building in the back yard. (Syn: single.)

Infill: *noun* - new development on land that had been previously developed, including most Greyfield and Brownfield sites and cleared land within Urbanized areas. *verb*- to develop such areas.

Infill RCD: a Community Unit type within an Urbanized, Greyfield, or Brownfield area based on a Long or Linear Pedestrian Shed and consisting of T-4, T-5, and/or T-6 Zones. An Infill RCD is permitted By Right in the G-4 Infill Growth Sector and is regulated by Article 4. (Var: downtown.)

Infill TND: a Community Unit type within an Urbanized, Greyfield, or Brownfield area based on a Standard Pedestrian Shed and consisting of T-3, T-4, and/or T-5 Zones. An Infill TND is permitted By Right in the G-4 Infill Growth Sector and is regulated by Article 4.. (Var: neighborhood.)

Inn: a Lodging type, owner-occupied, offering 6 to 12 bedrooms, permitted to serve breakfast in the mornings to guests.

Invasive Species: Federal Executive Order 13112 of 1999 defined an “invasive species” as a species that is 1) non-native (or alien) to the ecosystem under consideration and 2) whose introduction causes or is likely to cause economic or environmental harm or harm to human health. This definition covers all organisms, including vascular plants, animals (including invertebrates), fungi, bacteria, and viruses.

Large-scale Retail (“big-box”): A retail establishment or combination of commercial retail establishment(s), including membership establishments with any commercial retail use, of over twenty thousand (20,000) square feet in gross floor area. The gross floor area includes building gross floor area and ancillary outdoor storage or merchandise display areas. For the purposes of this definition, the floor area does not include motor vehicle parking or loading areas. For the purpose of determining the applicability of the twenty thousand (20,000) square feet of floor area, the aggregate square footage of all adjacent stores or retail tenants that share common checkout stands or a controlling interest, or storage areas, shall be considered one establishment. See Architectural Prototypes exhibits.

Layer: a range of depth of a Lot within which certain elements are permitted.

Lightwell: A Private Frontage type that is a below-grade entrance or recess designed to allow light into basements. (Syn: light court.)

Linear Pedestrian Shed: A Pedestrian Shed that is elongated along an important Mixed Use Corridor such as a main street. A Linear Pedestrian Shed extends approximately 1/4 mile from each side of the Corridor for the length of its Mixed Use portion. The resulting area is shaped like a lozenge. It may be used to structure a TND, RCD, Infill TND, or Infill RCD. (Syn: elongated pedestrian shed.)

Liner Building: a building specifically designed to mask a parking lot or a Parking Structure from a Frontage.

Live-Work: a Mixed Use unit consisting of a Commercial and Residential Function. The Commercial Function may be anywhere in the unit. It is intended to be occupied by a business operator who lives in the same structure that contains the Commercial activity or industry. **See Work-Live.** (Syn.: flexhouse.)

Lodging: premises available for daily and weekly renting of bedrooms.

Long Pedestrian Shed: a Pedestrian Shed that is an average 1/2 mile radius or 2640 feet, used when a transit stop (bus or rail) is present or proposed as the Common Destination. A Long Pedestrian Shed represents approximately a ten-minute walk at a leisurely pace. It is applied to structure an RCD Community Unit type. **See Pedestrian Shed.**

Lot: a parcel of land accommodating a building or buildings of unified design. The size of a Lot is controlled by its width in order to determine the grain (i.e., fine grain or coarse grain) of the urban fabric.

Lot Line: the boundary that legally and geometrically demarcates a Lot.

Lot Width: the length of the Principal Frontage Line of a Lot.

Main Civic Space: the primary outdoor gathering place for a community. The Main Civic Space is often, but not always, associated with an important Civic Building.

Manufacturing: premises available for the creation, assemblage and/or repair of artifacts, using table-mounted electrical machinery or artisanal equipment, and including their Retail sale.

Meeting Hall: a building available for gatherings, including conferences, that accommodates at least one room equivalent to a minimum of 10 square feet per projected dwelling unit within the Pedestrian Shed in which it is located.

Mixed Use: multiple Functions within the same building through superimposition or adjacency, or in multiple buildings by adjacency, or at a proximity determined by Warrant.

Net Site Area: all developable land within a site including Thoroughfares but excluding land allocated as Civic Zones.

Network Pedestrian Shed: a Pedestrian Shed adjusted for average walk times along Thoroughfares. This type may be used to structure Infill Community Plans.

Office: premises available for the transaction of general business but excluding Retail, artisanal and Manufacturing uses.

Open Space: land intended to remain undeveloped; it may be for Civic Space.

Outbuilding: an Accessory Building, usually located toward the rear of the same Lot as a Principal Building, and sometimes connected to the Principal Building by a Backbuilding.

Park: a Civic Space type that is a natural preserve available for unstructured recreation.

Parking Structure: a building containing one or more Stories of parking above grade.

Passage (PS): a pedestrian connector, open or roofed, that passes between

buildings to provide shortcuts through long Blocks and connect rear parking areas to Frontages.

Path (PT): a pedestrian way traversing a Park or rural area, with landscape matching the contiguous Open Space, ideally connecting directly with the urban Sidewalk network.

Pedestrian Shed: An area that is centered on a Common Destination. Its size is related to average walking distances for the applicable Community Unit type. Pedestrian Sheds are applied to structure Communities. **See Standard, Long, Linear or Network Pedestrian Shed.** (Syn: walkshed, walkable catchment.)

Planter: the element of the Public Frontage which accommodates street trees, whether continuous or individual.

Plaza: a Civic Space type designed for Civic purposes and Commercial activities in the more urban Transect Zones, generally paved and spatially defined by building Frontages.

Principal Building: the main building on a Lot, usually located toward the Frontage.

Principal Entrance: the main point of access for pedestrians into a building.

Principal Frontage: On corner Lots, the Private Frontage designated to bear the address and Principal Entrance to the building, and the measure of minimum Lot width. Prescriptions for the parking Layers pertain only to the Principal Frontage. Prescriptions for the first Layer pertain to both Frontages of a corner Lot. **See Frontage.**

Private Frontage: the privately held Layer between the Frontage Line and the Principal Building Facade.

Public Frontage: the area between the Curb of the vehicular lanes and the Frontage Line.

RCD: see Regional Center Development.

Rear Alley (RA): a vehicular way located to the rear of Lots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Alleys should be paved from building face to building face, with drainage by inverted crown at the center or with roll Curbs at the edges.

Rear Lane (RL): a vehicular way located to the rear of Lots providing access to service areas, parking, and Outbuildings and containing utility easements. Rear Lanes may be paved lightly to Driveway standards. The streetscape consists of gravel or landscaped edges, has no raised Curb, and is drained by percolation.

Rearyard Building: a building that occupies the full Frontage Line, leaving the rear of the Lot as the sole yard. (Var: Rowhouse, Townhouse, Apartment House)

Recess Line: a line prescribed for the full width of a Facade, above which there is a Stepback of a minimum distance, such that the height to this line (not the overall building height) effectively defines the enclosure of the Enfronting public space. Var: Extension Line.

Regional Center: Regional Center Development or RCD.

Regional Center Development (RCD): a Community Unit type structured by a Long Pedestrian Shed or Linear Pedestrian Shed, which may be adjoined without buffers by one or several Standard Pedestrian Sheds, each with the individual

Transect Zone requirements of a TND. RCD takes the form of a high-Density Mixed Use center connected to other centers by transit. See **Infill RCD**. (Var: town center, downtown. Syn: **Regional Center**)

Regulating Plan: a Zoning Map or set of maps that shows the Transect Zones, Civic Zones, Special Districts if any, and Special Requirements if any, of areas subject to, or potentially subject to, regulation by the SmartCode.

Residential: characterizing premises available for long-term human dwelling.

Retail: characterizing premises available for the sale of merchandise and food service.

Retail Frontage: Frontage designated on a Regulating Plan that requires or recommends the provision of a Shopfront, encouraging the ground level to be available for Retail use. See **Special Requirements**.

Road (RD): a local, rural and suburban Thoroughfare of low-to-moderate vehicular speed and capacity. This type is allocated to the more rural Transect Zones (T1-T3).

Rowhouse: a single-family dwelling that shares a party wall with another of the same type and occupies the full Frontage Line. See **Rearyard Building**. (Syn: **Townhouse**)

Rural Boundary Line: the extent of potential urban growth as determined by existing geographical determinants. The Rural Boundary Line is permanent.

Sector: a neutral term for a geographic area. In the SmartCode there are six specific Sectors for regional planning that establish the legal boundaries for Open Space and development.

Secondary Frontage: on corner Lots, the Private Frontage that is not the Principal Frontage. As it affects the public realm, its First Layer is regulated.

Setback: the area of a Lot measured from the Lot line to a building Facade or Elevation that is maintained clear of permanent structures, with the exception of Encroachments. (Var: build-to-line.)

Shared Parking Factor: an accounting for parking spaces that are available to more than one Function.

Shopfront: a Private Frontage conventional for Retail use, with substantial glazing and an awning, wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade.

Sidewalk: the paved section of the Public Frontage dedicated exclusively to pedestrian activity.

Sideyard Building: a building that occupies one side of the Lot with a Setback on the other side. This type can be a Single or Twin depending on whether it abuts the neighboring house.

Slip Road: an outer vehicular lane or lanes of a Thoroughfare, designed for slow speeds while inner lanes carry higher speed traffic, and separated from them by a planted median. (Syn: access lane, service lane)

Specialized Building: a building that is not subject to Residential, Commercial, or Lodging classification.

Special District (SD): an area that, by its intrinsic Function, Disposition, or Configuration, cannot or should not conform to one or more of the normative Community Unit types or Transect Zones specified by the SmartCode. Special

Districts may be mapped and regulated at the regional scale or the community scale.

Special Flood Hazard Area: a designation by the Federal Emergency Management Agency (FEMA) that may include the V (Velocity) Zones and Coastal A Zones where building construction is forbidden, restricted, or contingent upon raising to the Base Flood Elevation.

Special Requirements: provisions of of this Code and/or the associated designations on a Regulating Plan or other map for those provisions.

Square: a Civic Space type designed for unstructured recreation and Civic purposes, spatially defined by building Frontages and consisting of Paths, lawns and trees, formally disposed.

Standard Pedestrian Shed: a Pedestrian Shed that is an average 1/4 mile radius or 1320 feet, about the distance of a five-minute walk at a leisurely pace. See Pedestrian Shed.

Stepback: a building Setback of a specified distance that occurs at a prescribed number of Stories above the ground.

Stoop: a Private Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk for privacy, with an exterior stair and landing at the entrance.

Story: a habitable level within a building, excluding an Attic or raised basement.

Street (ST): a local urban Thoroughfare of low speed and capacity.

Streetscreen: a freestanding wall built along the Frontage Line, or coplanar with the Facade. It may mask a parking lot from the Thoroughfare, provide privacy to a side yard, and/or strengthen the spatial definition of the public realm. (Syn: streetwall.)

Substantial Modification: alteration to a building that is valued at more than 50% of the replacement cost of the entire building, if new.

Swale: a low or slightly depressed natural area for drainage.

T-zone: Transect Zone.

TDR: Transfer of Development Rights, a method of relocating existing zoning rights from areas to be preserved as Open Space to areas to be more densely urbanized.

TDR Receiving Area: an area intended for development that may be made more dense by the purchase of development rights from TDR Sending Areas.

TDR Sending Area: an area previously zoned for development within a designated Reserved Open Sector (O-2), from which development rights may be transferred to a Growth Sector.

Terminated Vista: a location at the axial conclusion of a Thoroughfare. A building located at a Terminated Vista designated on a Regulating Plan is required or recommended to be designed in response to the axis.

Thoroughfare: a way for use by vehicular and pedestrian traffic and to provide access to Lots and Open Spaces, consisting of Vehicular Lanes and the Public Frontage.

TND: Traditional Neighborhood Development, a Community Unit type structured by a Standard Pedestrian Shed oriented toward a Common Destination consisting

of a Mixed Use center or Corridor, and in the form of a medium-sized settlement near a transportation route. (Syn: village. Variant: **Infill TND**, neighborhood.)

TOD: Transit Oriented Development. TOD is created by an overlay on all or part of a TND or RCD, or by designation on a Regional Plan, permitting increased Density to support rail or Bus Rapid Transit (BRT).

Townhouse: See **Rearyard Building**. (Syn: **Rowhouse**)

Transect: a cross-section of the environment showing a range of different habitats. The rural-urban Transect of the human environment used in the SmartCode template is divided into six Transect Zones. These zones describe the physical form and character of a place, according to the Density and intensity of its land use and Urbanism.

Transect Zone (T-zone): One of several areas on a Zoning Map regulated by the Manchester Road Form Based Code. Transect Zones are administratively similar to the land use zones in conventional codes, except that in addition to the usual building use, Density, height, and Setback requirements, other elements of the intended habitat are integrated, including those of the private Lot and building and Public Frontage.

Turning Radius: the curved edge of a Thoroughfare at an intersection, measured at the inside edge of the vehicular tracking. The smaller the Turning Radius, the smaller the pedestrian crossing distance and the more slowly the vehicle is forced to make the turn.

Urban Boundary Line: the extent of potential urban growth as determined by the projected demographic needs of a region. The Urban Boundary Line may be adjusted from time to time.

Urbanism: collective term for the condition of a compact, Mixed Use settlement, including the physical form of its development and its environmental, functional, economic, and sociocultural aspects.

Urbanized: generally, developed. Specific to the Manchester Road Form Based Code, developed at T-3 (Sub-Urban) Density or higher.

Variance: a ruling that would permit a practice that is not consistent with either a specific provision or the Intent of this Code. Variances are usually granted by the Board of Appeals in a public hearing.

Warrant: a ruling that would permit a practice that is not consistent with a specific provision of this Code, but that is justified by its Intent (. Warrants are usually granted administratively by the CRC.

Work-Live: a Mixed Use unit consisting of a Commercial and Residential Function. It typically has a substantial Commercial component that may accommodate employees and walk-in trade. The unit is intended to function predominantly as work space with incidental Residential accommodations that meet basic habitability requirements. See Live-Work. (Syn: Live-With.)

Yield: characterizing a Thoroughfare that has two-way traffic but only one effective travel lane because of parked cars, necessitating slow movement and driver negotiation. Also, characterizing parking on such a Thoroughfare.

Zoning Map: the official map or maps that are part of the zoning ordinance and delineate the boundaries of individual zones and districts. See **Regulating Plan**.