

TABLE 3. PRIVATE FRONTAGES

Manchester Road Form-Based Code

The Private Frontage is the area between the building Facades and the Lot lines.

	SECTION	PLAN
	LOT PRIVATE FRONTAGE R.O.W. PUBLIC FRONTAGE	LOT PRIVATE FRONTAGE R.O.W. PUBLIC FRONTAGE
<p>a. Common Yard: a planted Frontage wherein the Facade is set back substantially from the Frontage Line. The front yard created remains unfenced and is visually continuous with adjacent yards, supporting a common landscape. The deep Setback provides a buffer from the higher speed Thoroughfares.</p>		T3
<p>b. Porch & Fence: a planted Frontage wherein the Facade is set back from the Frontage Line with an attached porch permitted to Encroach. A fence at the Frontage Line maintains street spatial definition. Porches shall be no less than 8 feet deep.</p>		T3 T4
<p>c. Terrace or Lightwell: a Frontage wherein the Facade is set back from the Frontage line by an elevated terrace or a sunken Lightwell. This type buffers Residential use from urban Sidewalks and removes the private yard from public Encroachment. Terraces are suitable for conversion to outdoor cafes. Syn: Dooryard.</p>		T4 T5
<p>d. Forecourt: a Frontage wherein a portion of the Facade is close to the Frontage Line and the central portion is set back. The Forecourt created is suitable for vehicular drop-offs. This type should be allocated in conjunction with other Frontage types. Large trees within the Forecourts may overhang the Sidewalks.</p>		T4 T5
<p>e. Stoop: a Frontage wherein the Facade is aligned close to the Frontage Line with the first Story elevated from the Sidewalk sufficiently to secure privacy for the windows. The entrance is usually an exterior stair and landing. This type is recommended for ground-floor Residential use.</p>		T4 T5
<p>f. Shopfront: a Frontage wherein the Facade is aligned close to the Frontage Line with the building entrance at Sidewalk grade. This type is conventional for Retail use. It has a substantial glazing on the Sidewalk level and an awning that may overlap the Sidewalk to within 2 feet of the Curb. Syn: Retail Frontage.</p>		T4 T5
<p>g. Gallery: a Frontage wherein the Facade is aligned close to the Frontage line with an attached cantilevered shed or a lightweight colonnade overlapping the Sidewalk. This type is conventional for Retail use. The Gallery shall be no less than 10 feet wide and should overlap the Sidewalk to within 2 feet of the Curb.</p>		T4 T5
<p>h. Arcade: a colonnade supporting habitable space that overlaps the Sidewalk, while the Facade at Sidewalk level remains at or behind the Frontage Line. This type is conventional for Retail use. The Arcade shall be no less than 12 feet wide and should overlap the Sidewalk to within 2 feet of the Curb.</p>		T5

TABLE 4. PUBLIC FRONTAGES - GENERAL

Manchester Road Form-Based Code

The Public Frontage is the area between the private Lot line and the edge of the vehicular lanes.

	PLAN	
<p>a. (PW) Parkway: This Frontage has open Swales drained by percolation, Bicycle Trails and no parking. The landscaping consists of the natural condition or multiple species arrayed in naturalistic clusters. Buildings are buffered by distance or berms.</p>		<p>T3 T4</p>
<p>b. (SS) Side Street: This Frontage has raised Curbs and wide Sidewalks of porous pavement. It is separated from the vehicular lanes by continuous Planters. Bulb out rain gardens are located at intersections. The landscaping consists of street trees of a single or alternating species aligned in a regularly spaced Allee.</p>		<p>T3 T4 T5</p>
<p>c. (MS) Main Street / (BS) Back Street: This Frontage has raised Curbs and wide Sidewalks of porous pavement. It is separated from the vehicular lanes by a narrow continuous Planter. Bulb out rain gardens are located at intersections. The landscaping consists of a single tree species aligned in a regularly spaced Allee.</p>		<p>T4 T5</p>
<p>d. (BD) Boulevard: This Frontage includes a pedestrian way along the building Storefront and parking to the Lot Line. Within the R.O.W. Public Frontage includes very wide Porous Pavement Sidewalks, and Bicycle Lane separated from the vehicular lanes by a continuous planter or separate tree wells with grates and parking on both sides. The landscaping consists of a single tree species aligned with regular spacing where possible, but clears the storefront entrances. The center median will be designed to serve as a rain garden.</p>		<p>T4 T5</p>
<p>e. (HB) Historic Boulevard: This Frontage includes a pedestrian way along the building Storefront and parking to the Lot Line. Within the R.O.W. Public Frontage includes very wide Porous Pavement Sidewalks, and Bicycle Lane separated from the vehicular lanes by a continuous planter or separate tree wells with grates and parking on both sides. Bulb out rain gardens are located at intersections. The center median will be designed to serve as a rain garden. The landscaping consists of a single tree species aligned with regular spacing where possible, but clears the storefront entrances.</p>		<p>T4 T5</p>
<p>e. (TC) Town Center Road: This Frontage consists of raised Curbs drained by inlets and Sidewalks and Bike Lanes divided by a narrow continuous Planter. Bike Lanes are adjacent to Vehicle Lanes. The landscaping consists of a single tree species, regularly spaced.</p>		<p>T4 T5</p>
<p>e. (FR) Frontage Road: This Frontage has raised Curbs and wide Sidewalks of porous pavement. along one sides. The landscaping consists of a single tree species, regularly spaced. Verges will be designed to serve as a rain garden.</p>		<p>T4 T5</p>
<p>e. (RA) Rear Alley: Buildings on one side of the Alley are built to the R.O.W line, while a side setback is provided on the other side of the street</p>		<p>T3 T4 T5</p>

- and Private Frontage (Table 4) be coordinated as a single, coherent landscape and paving design.
- d. Cross Block Passage designation requires that a minimum 8-foot-wide pedestrian access be reserved between buildings.
 - e. Buildings on corner Lots shall have two Private Frontages. Prescriptions for the second and third Layers pertain only to the Principal Frontage. Prescriptions for the first Layer pertain to both Frontages.
 - f. Loading docks and service areas shall be permitted on Frontages only by Warrant.

4.3 REAR LANE

- 4.3.1 Rear Lanes or common drives must provide access to the rear of all lots, except where lots are on a perimeter common to non-developable or are Lands of Environmental Importance or where a lot has streets on three sides and the absence of a Rear Lane would not deprive an adjacent neighbor of rear lot access.
- 4.3.2 New Rear Lanes (or common drives) may be public or private, but public access, public utility, and drainage must be dedicated via an easement.
- 4.3.3 Rear Lanes may be incorporated into (rear) parking lots as standard drive aisles. Access to all properties adjacent to the alley shall be maintained. Access between parking lots across property lines is required.
- 4.3.4 Where a Rear Lane does not exist and is not feasible to construct at the time of redevelopment of any property, the applicant is required to dedicate the Rear Lane right-of-way within the rear setback to the City and maintain the area within the rear setback by, at a minimum:
 - (i) Providing routine landscape maintenance to the area.
 - (ii) Keeping the area clear of debris, stored materials, and vehicles.

5.1 INTENT

- 5.1.1 The goal of the building standards is the creation of a vital, and coherent public realm through the creation of good streetspace. The intent of these form standards is to shape the street-space—the specific physical and functional character—of the Manchester Road Form Based Code District. The form and function controls on building frontages work together to frame the street-space while allowing the buildings greater latitude behind their facades. The building envelope standards aim for the minimum level of control necessary to meet this goal.
- 5.1.2 The building standards establish the rules for development and redevelopment on private lots, unless otherwise indicated on the regulating plan.
- 5.1.3 The Regulating Plan identifies the building standard for all private building sites within the Form District.

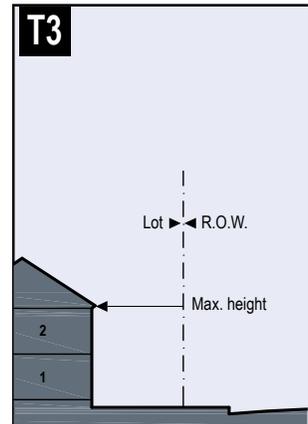
5.2 GENERAL PROVISIONS

- 5.2.1 Existing buildings and appurtenances that do not conform to the provisions of this Code may continue in use as they are until a Substantial Modification is requested, at which time the CRC shall determine the provisions of this section that shall apply.
- 5.2.2 Existing buildings that have at any time received a certificate of occupancy shall not require upgrade to the current Building Code and when renovated may meet the standards of the code under which they were originally permitted.
- 5.2.3 The modification of existing buildings is permitted By Right if such changes result in greater conformance with the specifications of this Code.
- 5.2.4 Where buildings exist on adjacent Lots, the CRC may require that a proposed building match one or the other of the adjacent Setbacks and heights rather than the provisions of this Code.
- 5.2.5 Any addition to or modification of a Building of Value that is included in the Manchester Road Historic District and has been designated as such by the CRC, or to a building actually or potentially eligible for inclusion on a state, local or national historic register, shall be subject to approval by the CRC.
- 5.2.6 The restoration or rehabilitation of an existing building shall not require the provision of (a) parking in addition to that existing nor (b) on-site stormwater retention/detention in addition to that existing. Existing parking requirements that exceed those for this Code may be reduced as provided by Table 6.
- 5.2.7 Building of Value designation such as those within the City of Manchester Historic District or buildings/properties on the Historic Register requires that the building or structure may be altered or demolished only in accordance with Municipal Preservation Standards and Protocols such as the City of Manchester Municipal Code Historic District regulations.
- 5.2.8 Consistent building standards (of a similar intensity) shall face across streets. Within the following hierarchy, building standards in the same group are considered to be consistent and may face each other across streets:

Group 1	Town Center, Neighborhood Center
Group 2	Town Center, Neighborhood Center, Apartment-Townhouse, Live/Work
Group 3	Apartment-Townhouse
Group 4	Townhouse/Detached

- a. When separated by an alley (or common drive), or when fronting different streets

- (i.e. a corner lot and its adjacent lot), building standards from any group may sit adjacent to one another.
- c. When separated by a square, plaza, civic green, or park, consecutive building standards (one group different) may front one another. For example, buildings from Group 1 may face buildings from Group 2 but not Group 3.
 - d. Building envelope standards from consecutive groups (one group number different) may share a common lot line and/or sit directly beside one another. For example, buildings from Group 1 may sit beside buildings from Group 2 but not Group 3. Such changes must be consistent on both sides of the street and must not occur more than once per 100 linear feet of the street length.
 - e. Civic use buildings (sites designated on the regulating plan) are not restricted by these standards.

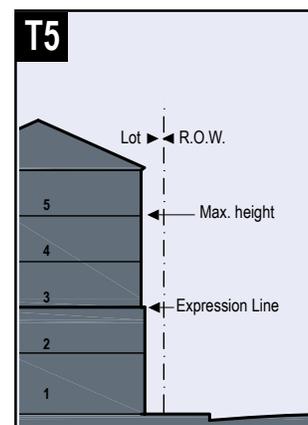
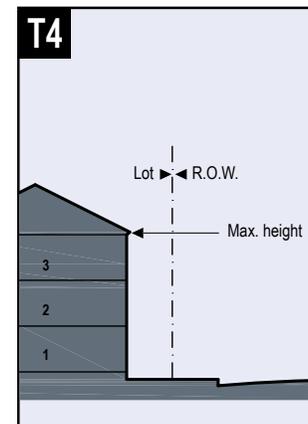


5.3 FRONTAGE

5.3.1 TOWN CENTER FRONTAGE

This is the basic urban street frontage, once common across the United States. The uses are not specific, ranging from commercial to residential, retail to municipal—and combinations of all of the above. The primary form is that of a multi-story building placed directly at the sidewalk with windows across the facade. There could be several buildings lined up shoulder to shoulder, filling out a block, or on smaller blocks, a single building might fill the block face.

- a. Building Height: The building shall be at least 2 stories in height, but no greater than 5 stories and 79ft in height.
- b. Ground Story Height: Commerce Uses
 - 1. The average ground story finished floor elevation shall be equal to the exterior sidewalk elevation in front of the building, with a maximum finished floor elevation of 18 inches above the sidewalk.
 - 2. The ground story shall have at least 15 feet of clear interior height (floor to ceiling) contiguous to the required building line (RBL) frontage for a minimum depth of 25 feet.
 - 3. The maximum ground story height is 22 feet, measured from the sidewalk to the second story floor.
- c. Ground Story Height: Residential Units
 - 1. The average finished floor elevation shall be no less than 3 feet above the exterior sidewalk elevation at the RBL.
 - 2. The ground story shall have an interior clear height (floor to ceiling) of at least 9 feet and a maximum sidewalk to second story floor height of 22 feet.
- d. Upper Story Height
 - 1. The maximum clear height (floor to ceiling) for story other than the ground story is 12 feet.
 - 2. At least 80% of each upper story shall have an interior clear height (floor to ceiling) of at least 9 feet.
- e. Facade
 - 1. On each lot the building façade shall be built-to the required building line for at least 75% of the RBL length.
 - 2. Within 7 feet of the block corner, the ground story façade may be chamfered to form a corner entry.
- f. Buildable Area: A contiguous private open area equal to at least 15% of the total



buildable area shall be preserved on every lot. Such contiguous private open area may be located anywhere behind the parking setback line, at or above grade.

g. Garage and Parking

1. Curb cuts or driveways shall be located at least 75 feet away from any block corner or another garage entry on the same block face. These requirements are not applicable along rear lanes.
2. Openings in any RBL for parking garage entries shall have a maximum clear height no greater than 16 feet and a clear width no greater than 22 feet.

h. Fenestration

1. Blank lengths of wall exceeding 20 linear feet are prohibited on all required building lines (RBL).
2. Ground story fenestration shall comprise between 20% and 70% of the facade. Where designated as Storefront General the ground story fenestration shall comprise between 40% and 90% of the facade.
3. Upper story fenestration shall comprise between 20% and 70% of the facade area per story.

5.3.2 TOWNHOUSE/APARTMENT FRONTAGE

The townhouse/apartment building envelope standard is of moderate intensity, often created by a series of smaller attached structures, most commonly single-family residential, but potentially also stacked flats, service commercial, or live-work arrangements. This standard has regular street-space entrances, as frequently as 18 feet. The character and intensity of this frontage varies (as designated on the regulating plan) with the siting/location of the required building line—the buildings may be placed at the rear of the sidewalk with stoops, or may be arranged with front porches and small dooryards. Similarly, the tree lawns may be found uncovered and continuous or partially covered in the street-space, depending on the street type. Similar to the scale of the townhouse and row house, a small apartment can also be used to transition the urban form and intensity to abutting single-family neighborhoods.

a. Building Height

1. Each building shall be at least 2 stories in height, but no greater than 4 stories and 58 feet in height.
2. A side wing or ancillary structure shall be no higher than 18 feet, measured to its eaves or parapet.

b. Ground Story Height

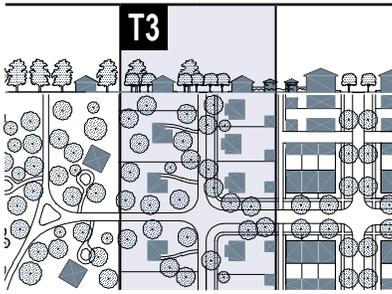
1. The average finished floor elevation shall be no less than 3 feet and no more than 8 feet above the exterior sidewalk elevation at the required building line (RBL).
2. At least 80% of the ground story shall have an interior clear height (floor to ceiling) of at least 9 feet.
3. The maximum ground story floor to ceiling story height is 12 feet.

c. Upper Story Height

1. The maximum clear height (floor to ceiling) for stories other than the ground story is 12 feet.
2. At least 80% of each upper story shall have an interior clear height (floor to ceiling) of at least 9 feet.

d. Facade

1. On each lot the building façade shall be built to the required building line (RBL)



(see Table 1)

I. BUILDING FUNCTION

Residential	restricted use
Lodging	restricted use
Office	restricted use
Retail	restricted use

k. BUILDING CONFIGURATION

Principal Building	2 1/2 stories max.
Outbuilding	2 1/2 stories max.

f. LOT OCCUPATION

Lot Width	30 ft. min 120 ft. max
Lot Coverage	60% max

i. BUILDING DISPOSITION

Edgeyard	permitted
Sidyard	not permitted
Rearyard	not permitted
Courtyard	not permitted

g. SETBACKS - PRINCIPAL BUILDING

(g.1) Front Setback Principal	24 ft. min
(g.2) Front Setback Secondary	12 ft. min.
(g.3) Side Setback	10 ft. min.
(g.4) Rear Setback	12 ft. min.
Frontage Buildout	40% min at setback

h. SETBACKS - OUTBUILDING

(h.1) Front Setback	20 ft. min. + bldg setback
(h.2) Side Setback	3 ft. or 6 ft at corner
(h.3) Rear Setback	3 ft. min

j. PRIVATE FRONTAGES

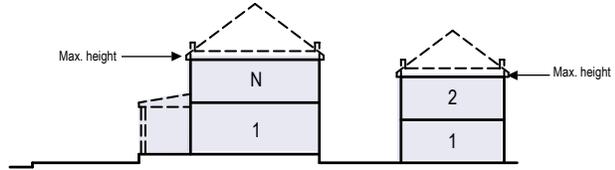
Common Lawn	permitted
Porch & Fence	permitted
Terrace or L.C.	not permitted
Forecourt	not permitted
Stoop	not permitted
Shopfront & Awning	not permitted
Gallery	not permitted
Arcade	not permitted

*or 15 ft. from center line of alley

"N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums

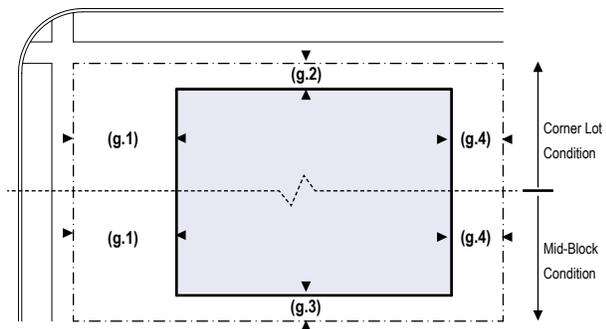
BUILDING CONFIGURATION

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with a maximum of 25 feet.
3. Height shall be measured to the eave or roof deck.



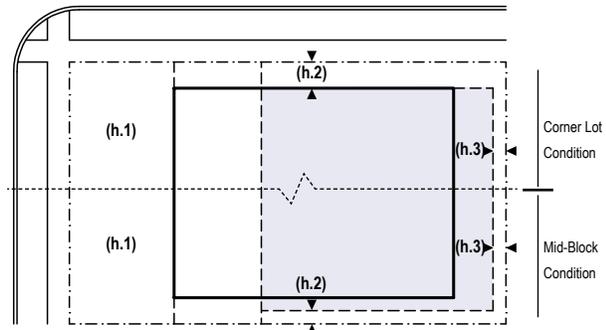
SETBACKS - PRINCIPAL BLDG

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



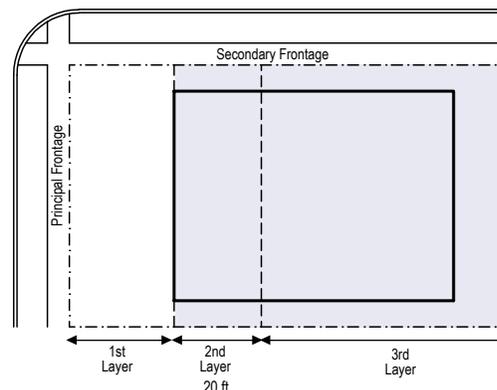
SETBACKS - OUTBUILDING

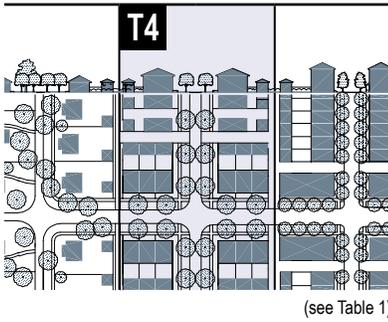
1. The Elevation of the Outbuilding shall be distanced from the Lot lines as shown.



PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the second and third Layer as shown in the diagram.
2. Covered parking shall be provided within the third Layer as shown in the diagram. Side- or rear-entry garages may be allowed in the first or second Layer by Warrant.
3. Trash containers shall be stored within the third Layer.





I. BUILDING FUNCTION

Residential	limited use
Lodging	limited use
Office	open use
Retail	open use

k. BUILDING CONFIGURATION

Principal Building	3 stories max, 2 min
Outbuilding	2 stories max.

f. LOT OCCUPATION

Lot Width	18 ft min 96 ft max
Lot Coverage	70% max

i. BUILDING DISPOSITION

Edgeyard	permitted
Sideyard	permitted
Rearyard	permitted
Courtyard	not permitted

g. SETBACKS - PRINCIPAL BUILDING

(g.1) Front Setback Principal	6 ft. min. 18 ft. max.
(g.2) Front Setback Secondary	6 ft. min. 18 ft. max
(g.3) Side Setback	0 ft. min.
(g.4) Rear Setback	3 ft. min.*
Frontage Buildout	60% min at setback

h. SETBACKS - OUTBUILDING

(h.1) Front Setback	20 ft. min. + bldg. setback
(h.2) Side Setback	0 ft. min. or 3 ft at corner
(h.3) Rear Setback	3 ft. min

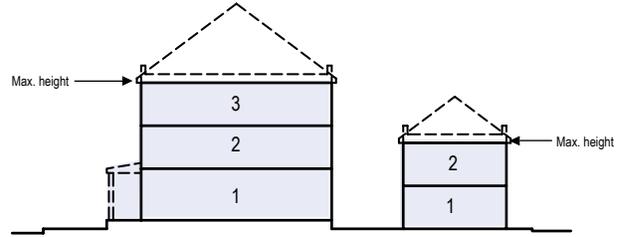
j. PRIVATE FRONTAGES

Common Lawn	permitted
Porch & Fence	permitted
Terrace or L.C.	permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	permitted
Arcade	not permitted

*or 15 ft. from center line of alley
 "N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums

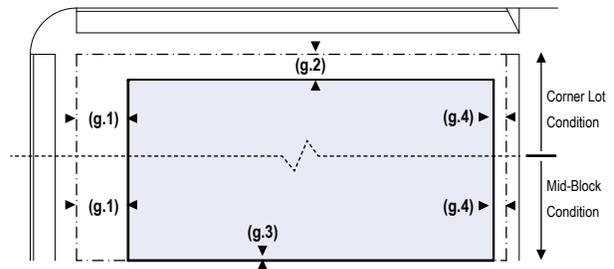
BUILDING CONFIGURATION

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with a maximum of 25 ft.
3. Height shall be measured to the eave or roof deck.



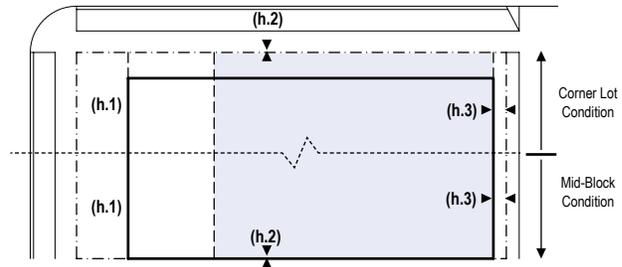
SETBACKS - PRINCIPAL BLDG

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



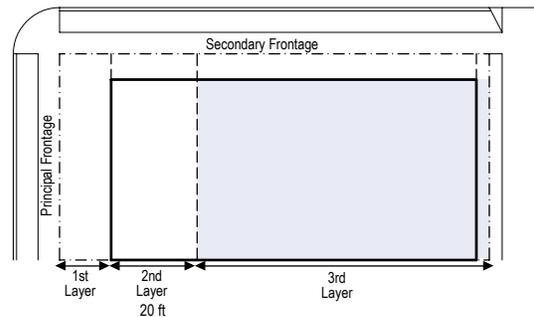
SETBACKS - OUTBUILDING

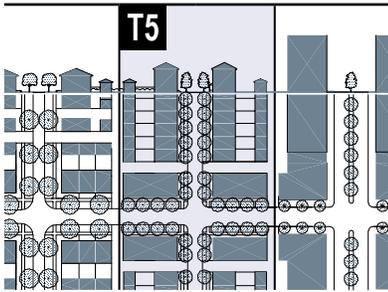
1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.



PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the third Layer as shown in the diagram.
2. Covered parking shall be provided within the third Layer as shown in the diagram.
3. Trash containers shall be stored within the third Layer.





(see Table 1)

I. BUILDING FUNCTION

Residential	open use
Lodging	open use
Office	open use
Retail	open use

k. BUILDING CONFIGURATION

Principal Building	5 stories max. 2 min.
Outbuilding	2 stories max.

f. LOT OCCUPATION

Lot Width	18 ft min 180 ft max
Lot Coverage	80% max

i. BUILDING DISPOSITION

Edgeyard	not permitted
Sidyard	permitted
Rearyard	permitted
Courtyard	permitted

g. SETBACKS - PRINCIPAL BUILDING

(g.1) Front Setback Principal	2 ft. min. 12 ft. max.
(g.2) Front Setback Secondary	2 ft. min. 12 ft. max.
(g.3) Side Setback	0 ft. min. 24 ft. max.
(g.4) Rear Setback	3 ft. min.*
Frontage Buildout	80% min at setback

h. SETBACKS - OUTBUILDING

(h.1) Front Setback	40 ft. max. from rear prop.
(h.2) Side Setback	0 ft. min. or 2 ft at corner
(h.3) Rear Setback	3 ft. max.

j. PRIVATE FRONTAGES

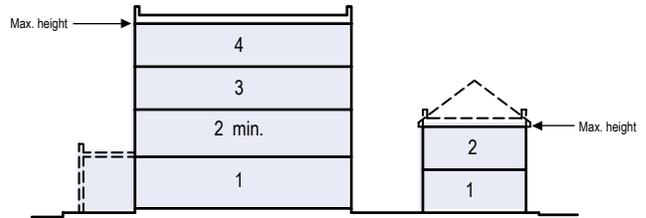
Common Lawn	not permitted
Porch & Fence	not permitted
Terrace or L.C.	permitted
Forecourt	permitted
Stoop	permitted
Shopfront & Awning	permitted
Gallery	permitted
Arcade	permitted

*or 15 ft. from center line of alley

"N" stands for any Stories above those shown, up to the maximum. Refer to metrics for exact minimums and maximums

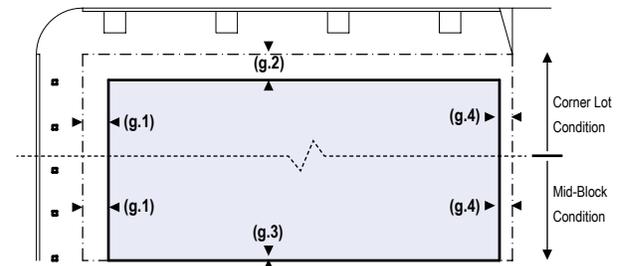
BUILDING CONFIGURATION

1. Building height shall be measured in number of Stories, excluding Attics and raised basements.
2. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial function which must be a minimum of 11 ft with a maximum of 25 ft.
3. Height shall be measured to the eave or roof deck.



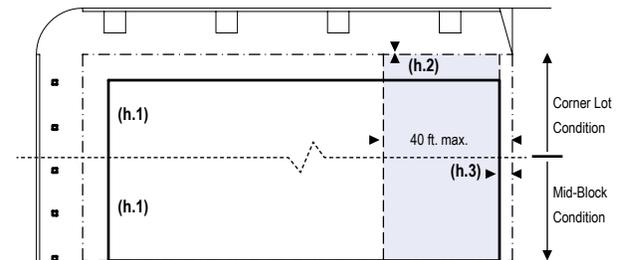
SETBACKS - PRINCIPAL BLDG

1. The Facades and Elevations of Principal Buildings shall be distanced from the Lot lines as shown.
2. Facades shall be built along the Principal Frontage to the minimum specified width in the table.



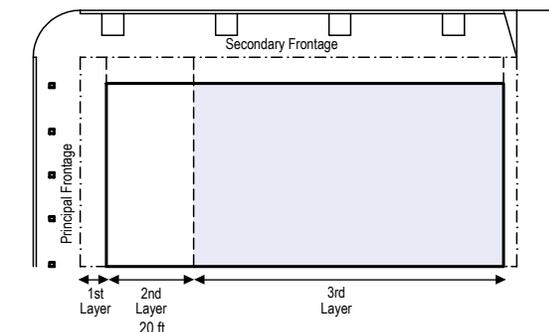
SETBACKS - OUTBUILDING

1. The Elevations of the Outbuilding shall be distanced from the Lot lines as shown.



PARKING PLACEMENT

1. Uncovered parking spaces may be provided within the third Layer as shown in the diagram.
2. Covered parking shall be provided within the third Layer as shown in the diagram.
3. Trash containers shall be stored within the third Layer.



- for at least 65% of the RBL length.
- 2. For buildings with front porches the dooryard/clear walkway line shall serve as the RBL and the front porch shall be built to the dooryard line. For this situation only, the facade will sit behind the RBL, as determined by the required front porch depth.
- 3. The building façade (or front porch as per #2 above) shall be built to the RBL within 20 feet of a block corner.
- e. Buildable Area: A contiguous private open area equal to at least 15% of the total buildable area shall be preserved on every lot. Such contiguous private open area may be located anywhere behind the parking setback line, at or above grade.
- f. Garage and Parking
 - 1. Curb cuts or driveways shall be located at least 75 feet away from any block corner or another garage entry on the same block face. These requirements are not applicable along rear lanes.
 - 2. Garage doors/entries shall not be permitted on the RBL/Facade.
- g. Fenestration
 - 1. Blank lengths of wall exceeding 15 linear feet are prohibited on all required building lines (RBL).
 - 2. Fenestration shall comprise between 20% and 70% of the facade.

5.3.3 DETACHED FRONTAGE

The small lot single-family detached frontage standard is represented by the traditional single family house with small front, side and rear yards along a treelined street. Structures are typically 2 to 3 stories in height with pitched roofs and front porches.

- a. Building Height
 - 1. Each building shall be at least 2 stories in height, but no greater than 3 stories and 43 feet in height, .
 - 2. A siding or ancillary structure shall be no higher than 18 feet, measured to its eaves.
- b. Ground Story Height
 - 1. The average finished floor elevation shall be no less than 30 inches and no more than 60 inches above the exterior sidewalk elevation at the required building line (RBL).
 - 2. At least 80% of the first story shall have an interior clear height (floor to ceiling) of at least 9 feet.
 - 3. The maximum ground story clear height (floor to ceiling) is 12 feet.
- c. Upper Story Height
 - 1. The maximum clear height (floor to ceiling) for stories other than the ground story is 12 feet.
 - 2. At least 80% of each upper story shall have an interior clear height (floor to ceiling) of at least 9 feet.
- d. Front Yard Fence
 - 1. A front yard fence is required with a minimum height of 30 inches and a maximum height of 40 inches.
- e. Facade
 - 1. On each lot the facade shall be built parallel to the required building line (RBL) for at least 60% of the building width. The front porch shall be built to the RBL.
 - 2. Within 20 feet of a block corner the building façade shall be 8 to 10 feet behind

the RBL.

f. Buildable Area

1. A contiguous private open area equal to at least 25% of the total buildable area shall be preserved on every lot. Such contiguous area may be located anywhere behind the parking setback, at grade.

5.3.4 LIVE/WORK FRONTAGE

The Live/Work form standard accommodates small scale manufacturing and repair—including artisans—within the city. These structures are of limited height and are built to the fronting sidewalk. Exterior work areas are confined to work courts and/or at the center of the block.

a. Building Height

The building shall be at least 20 feet to the eaves or parapet in height, but no greater than 4 stories and 64 feet in height.

b. Ground Story Height

1. The average ground story finished floor elevation shall be equal to the exterior sidewalk elevation in front of the building to a maximum elevation of 18 inches above the sidewalk (excepting as may be required for flood plain requirements).
2. The ground story shall have at least 12 feet of clear interior height (floor to ceiling) contiguous to the required building line (RBL) frontage for a minimum depth of at least 25 feet.
3. The maximum story height for the ground story is 25 feet.

c.. Upper story Height

1. Upper stories shall have an interior clear height (floor to ceiling) maximum height of 12 feet.
2. At least 80% of each upper story shall have an interior clear height (floor to ceiling) of at least 9 feet.

d. Facade

1. On each lot the building façade shall be built to the RBL for at least 60% of the RBL length.
2. The Ground Story Facade, within 7 feet of the block corner, may be chamfered to form a corner entry.

e. Fenestration

1. Blank lengths of wall exceeding 35 linear feet are prohibited on all required building lines (RBL).
2. Fenestration shall comprise between 20% and 70% of the facade.

5.4 FACADE COMPOSITION

5.4.1 “Facade composition” is the arrangement and proportion of facade materials and elements (windows, doors, columns, pilasters, bays). For each block face, façades along the RBL present a complete and discrete vertical façade composition (i.e., integral architectural articulation to maintain and protect human-scale for the street-space) at an average street frontage length of no greater than 60 feet for Storefront General frontage sites; 75 feet for General Urban and Townhouse/Small Apartment frontage sites; and 100 feet for Workshop and Detached frontages.

5.4.2 Each façade composition shall include a functioning street entry door. This requirement may be satisfied through the use of liner shops for large footprint buildings. Individual infill projects on lots with frontage of less than 100 feet are exempted

from the overall façade composition requirement, but shall still include a functioning street entry.

5.5 BUILDING SIZE

- 5.5.1 The maximum footprint for a building is 1000,000 gross square feet; beyond that limit the CRC approval is required. This shall not limit parking structures built according to this Code.

5.6 RELATIONSHIP TO RESIDENTIAL NEIGHBORHOODS AND UNITS

For any building standard frontage except Detached and Townhouse, the following rules apply:

- 5.6.1 Where a site has a common lot line with a single-family detached residential structure, there shall be a 40 foot setback for any structures.
- 5.6.2 Where a site abuts a single-family residential property, a garden wall/street wall, 4 to 6 feet in height, shall be constructed within one (1) foot of the common lot line or alley.
- 5.6.3 Where a site is located within 40 feet of an existing single-family detached residential lot, the maximum eave or parapet height for that portion of the site shall be 30 feet. This requirement supersedes the minimum story height requirement.

5.7 BUILDING HEIGHTS

- 5.7.1 a. The height of all buildings is measured in stories, with an ultimate limit in feet, measured from the top of the wall plate to the fronting sidewalk elevation, unless otherwise designated herein. Stories may not exceed 14 feet in height from finished floor to finished ceiling, except for a first floor Commercial Function, which shall be a minimum of 11 feet with a maximum of 25 feet. A single floor level exceeding 14 feet, or 25 feet at ground level, shall be counted as two (2) stories. Mezzanines extending beyond 33% of the floor area shall be counted as an additional Story.
- b. Maximum heights allowed are 2 and 1/2 stories in T3 zones, 3 stories in T4 zones, and 5 stories and a minimum of 2 stories in T5 zones.
- c. Height limits do not apply to Attics or raised basements, masts, belfries, clock towers, chimney flues, water tanks, or elevator bulkheads. Attics shall not exceed 14 feet in height.
- d. If an individual story exceeds the maximum floor-to-floor height, it shall be counted against another story, and no individual building height may exceed the building standard prescribed ultimate height.
- e. Where a parking structure is within 30 feet of any building (constructed per this Code and after approval of the regulating plan) that portion of the structure shall not exceed the building's primary ridge or parapet height.
- f. In a Parking Structure or garage, each above-ground level counts as a single Story regardless of its relationship to habitable stories.

5.8 SITING

- 5.8.1 The building facade shall be built-to the RBL within 30 feet of a block corner
- 5.8.2 A street wall shall be required along any RBL frontage that is not otherwise occupied by a building. The street wall shall be located not more than 8 inches behind the RBL.
- 5.8.3 The RBL, designated on the Regulating Plan as an absolute line, incorporates

an off set area (or depth) of 20 inches beyond that line (into the building area) allowing for jogs, facade articulation, etc. unless otherwise designated herein. Therefore, where the Facade is placed within that 20 inch zone, it is considered to be "built-to" the RBL.

- 5.8.4 Buildings may only occupy that portion of the lot specified as the buildable area—the area behind the RBL as designated by the Building Standards.
- 5.8.5 No part of any building may be located outside of the buildable area except overhanging eaves, awnings, storefronts, bay windows, steps, handicapped ramps approved by the CRC, or balconies.
- 5.8.6 No part of any building may be located outside of any designated lot building limit except steps, overhanging eaves, or awnings.
- 5.8.7 There is no required setback from alleys except as otherwise indicated on the Building Standards. On lots without alley access, there shall be a minimum 25-foot setback from the rear lot line.
- 5.8.8 Parking Setback Line is generally 30 feet behind the RBL and extends vertically as a plane unless otherwise indicated on the Regulating Plan or in the Building Standards. Vehicle parking shall be located behind the Parking Setback Line, except where parking is provided below grade, on-street, or otherwise indicated on the Regulating Plan.
- 5.8.9 Corner lots and through lots shall satisfy the build-to requirements for their full/all frontages (RBL), unless otherwise specified in this Code.

5.9 BUILDING BLOCK

- 5.9.1 The Building Block Prototype in Exhibit F provides an examples of efficient use of space, maximizing the parking potential of the site without compromising the visual appeal of the architecture, and creating comfortable pedestrian environments with short walking distances and connectivity.
- 5.9.2 No block face shall have a length greater than 300 feet without an alley, common drive or access easement, or pedestrian pathway providing through-access to another street-space, alley or common drive, or Lands of Environmental Importance. Individual lots with less than 100 feet of frontage are exempt from the requirement to interrupt the block face; those with over 200 feet of frontage shall meet the requirement within their lot, unless already satisfied within that block face.
- 5.9.3 Unless otherwise specified on the regulating plan, no curb cuts are permitted within 75 feet of another curb cut, intersection, or driveway. Driveways into or from alleys are not restricted by this measure.

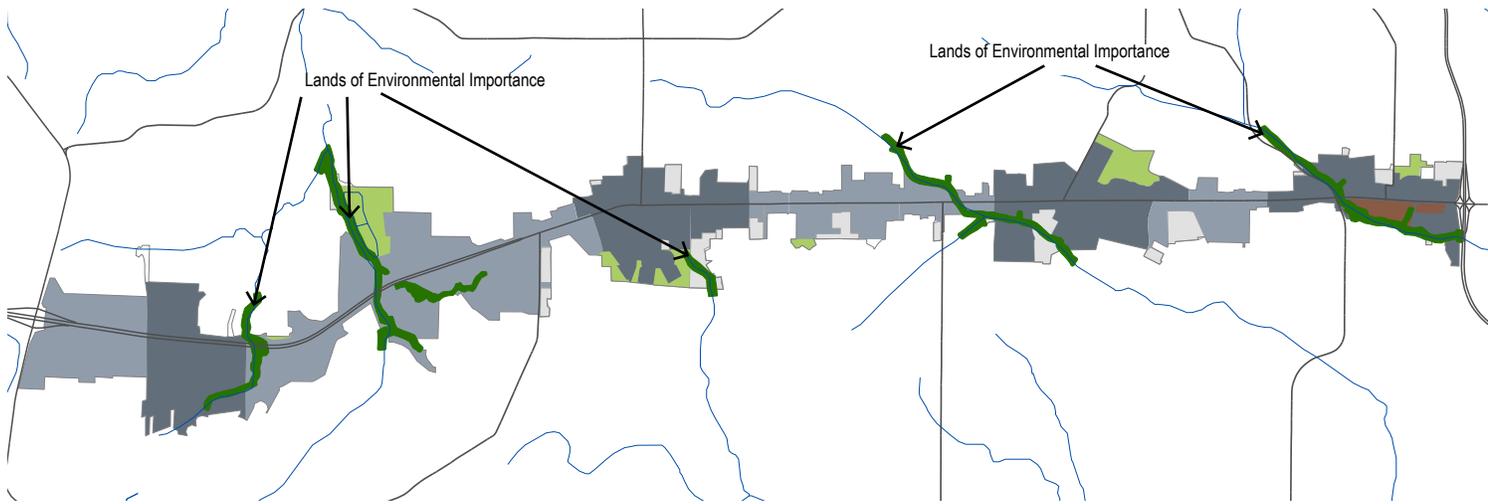
5.10 BUILDING CONFIGURATION

- 5.10.1 Buildings adjacent to stream corridors shall be configured to face the stream as shown in Exhibit G.
- 5.10.2 **SPECIFIC TO ZONE T3**
 - a. No portion of the Private Frontage may Encroach the Sidewalk.
 - b. Open porches may Encroach the first Layer 50% of its depth. (Appendix Illustrative Definitions)
 - c. Balconies and bay windows may Encroach the first Layer 25% of its depth.
- 5.10.4 **SPECIFIC TO ZONE T4**
 - a. Drive-through/ Drive-in facilities shall be configured as shown in Exhibit H. Drive-through/ Drive-in facilities should be accessed from B-grid streets rather

300 Foot Block

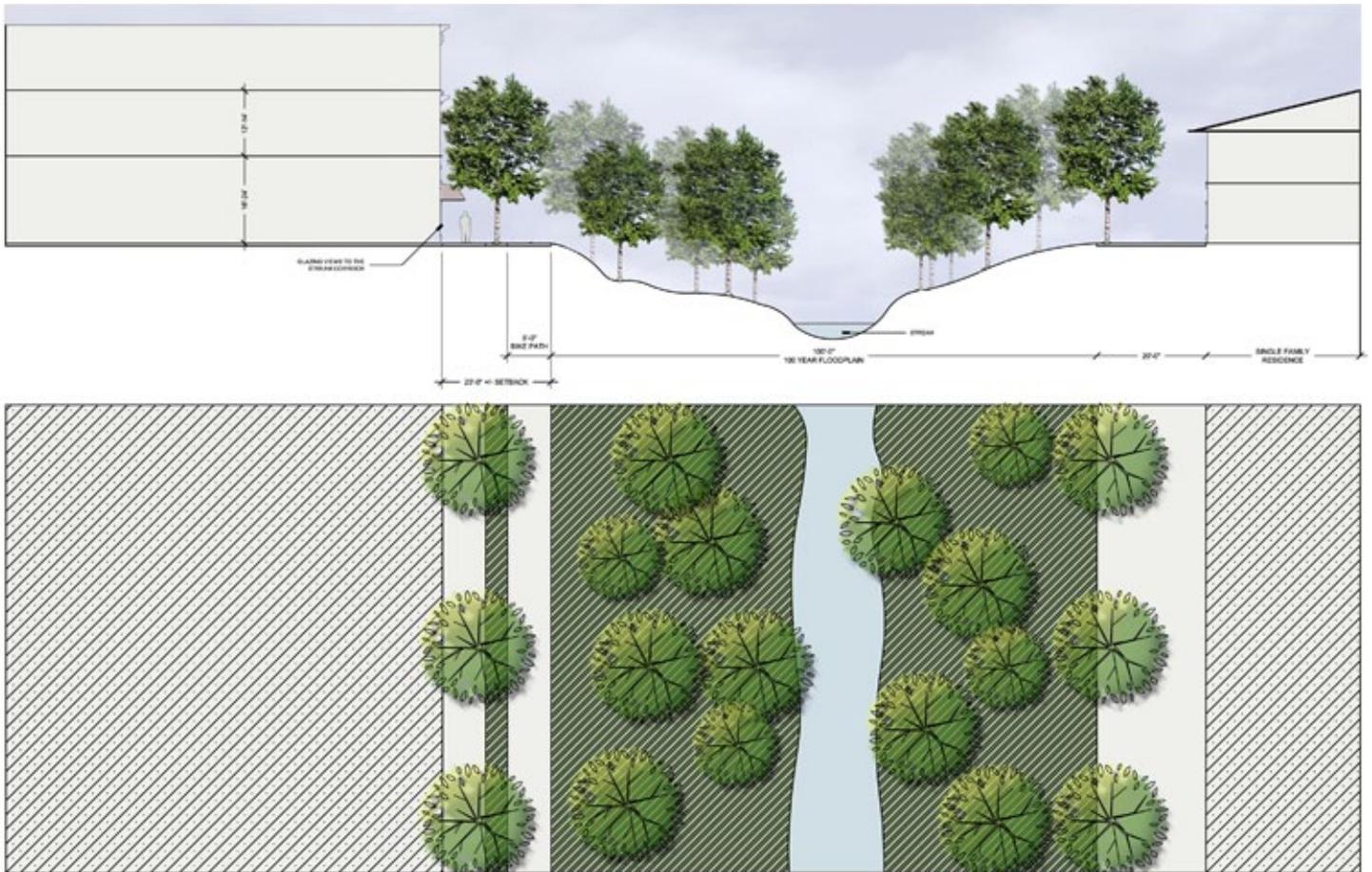


EXHIBIT G. BUILDING CONFIGURATION FOR STREAMS Manchester Road Form-Based Code



Metro Sewer District (MSD) stream bank setback (50 feet from top-of-bank) area are Lands of Environmental Importance By Right regardless of size. Buildings adjacent to Lands of Environmental Importance must front streams and parks rather than back onto them as shown in the Stream Corridor Exhibit.

Stream Corridor



than A-grid streets.

- b. Big Box stores shall be configured as shown in Exhibit I.
- c. Balconies, open porches and bay windows may Encroach the first Layer 50% of its depth. (Appendix Illustrative Definitions)

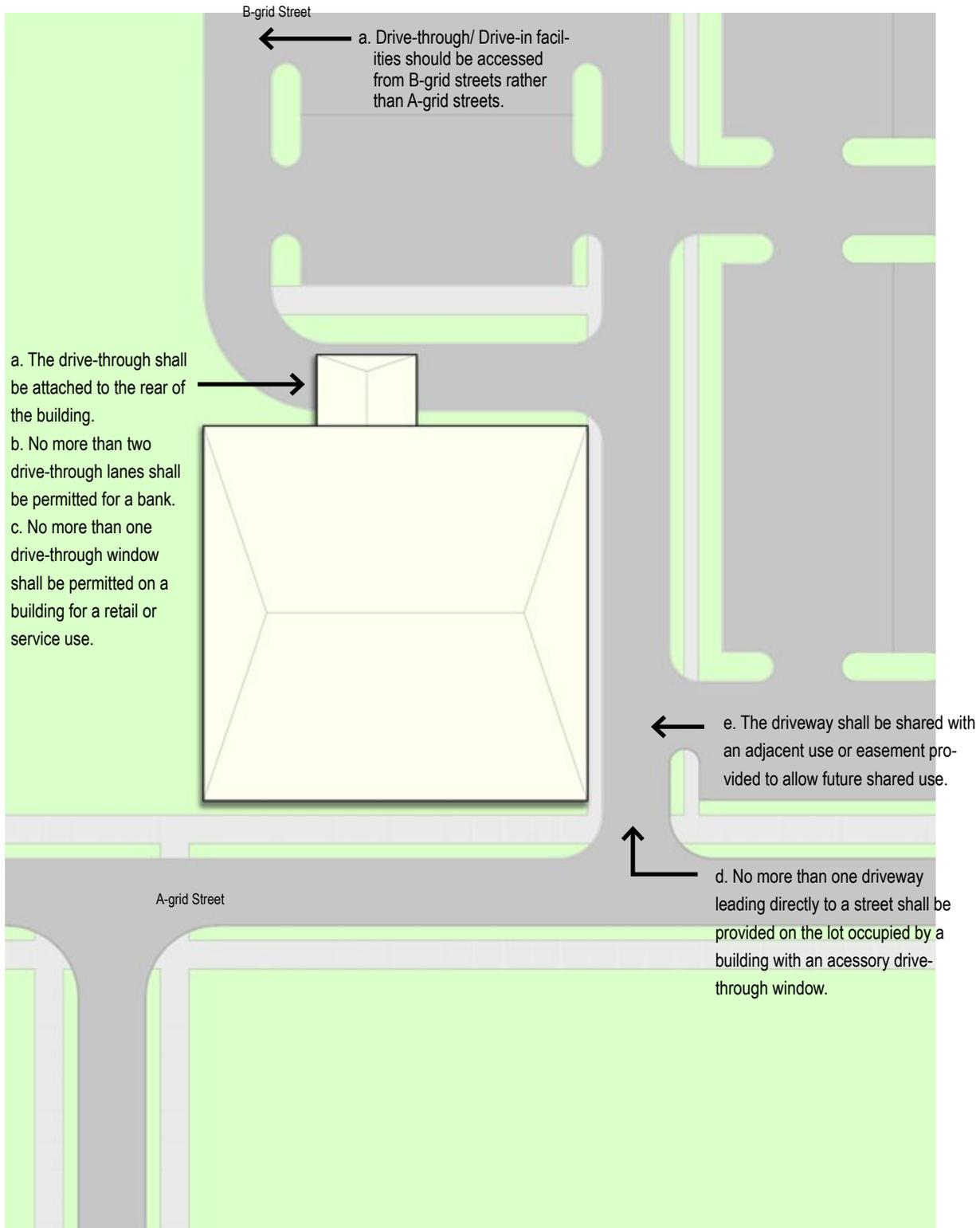
5.10.5 SPECIFIC TO ZONES T5

- a. Awnings, Arcades, and Galleries may Encroach the Sidewalk to within 2 feet of the Curb but must clear the Sidewalk vertically by at least 8 feet.
- b. Stoops, Lightwells, balconies, bay windows, and terraces may encroach the first Layer 100% of its depth. (Appendix Illustrative Definitions)
- c. In the absence of a building Facade along any part of a Frontage Line, a Streetscreen shall be built co-planar with the Facade.

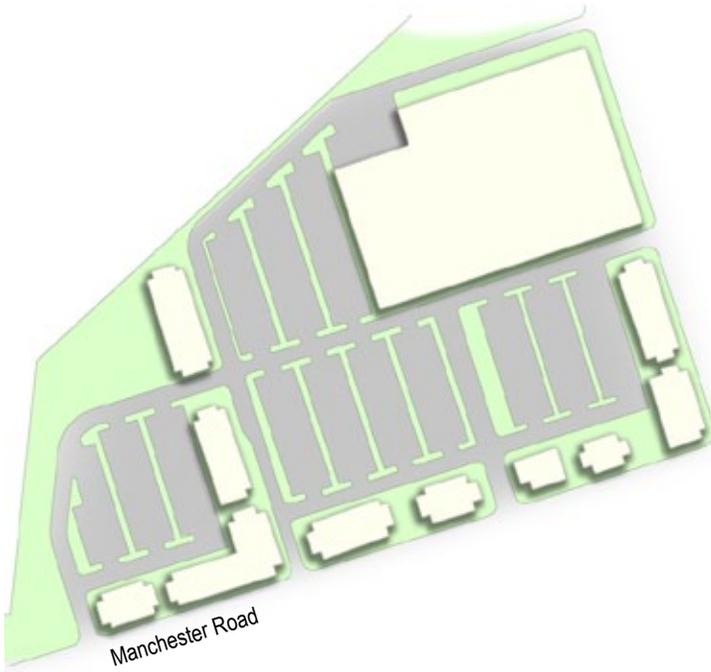
5.11 BUILDING PROTOTYPES

- 5.11.1 a. Prototype example buildings shown in Exhibit J are advisory only and are intended to convey the desired principles of how buildings should relate to the street.
- b. Large Scale Retail (big-box) defined as a retail or wholesale business occupying more than 20,000 square feet of Floor Area with a regional market area, including but not limited to retail or wholesale sales, membership warehouse clubs, discount stores and department stores, shall be limited to 100,000 square feet of gross floor area, with the exception of two-story buildings allowed to exceed 100,000 square feet as long as the building footprint is no greater than 10,000 square feet. Gross floor area definitions for Large Scale Retail are provided in the Definition of Terms.

EXHIBIT H. DRIVE-THROUGH/IN CONFIGURATION PROTOTYPE

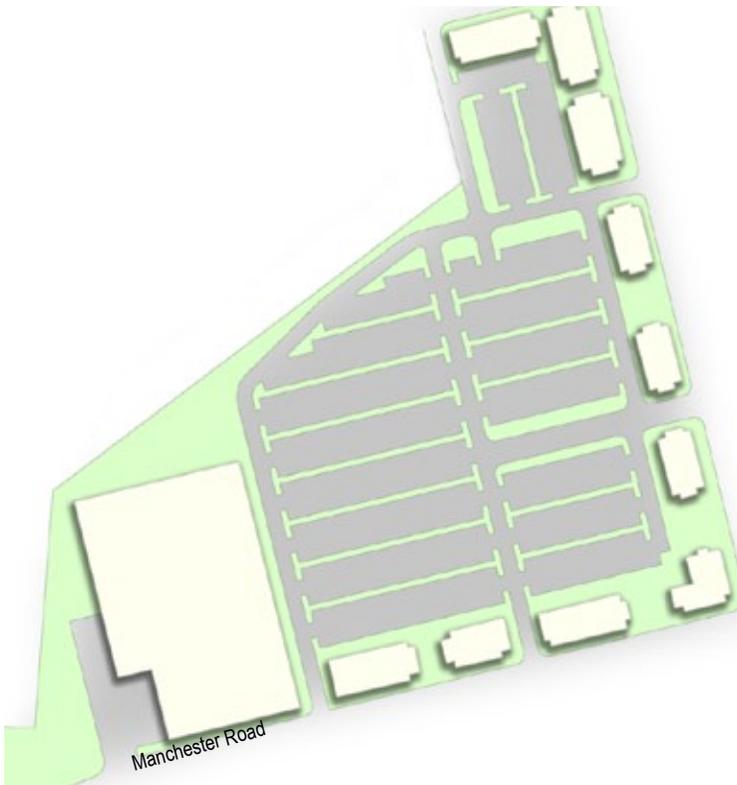


Big Box Configuration Prototype 1



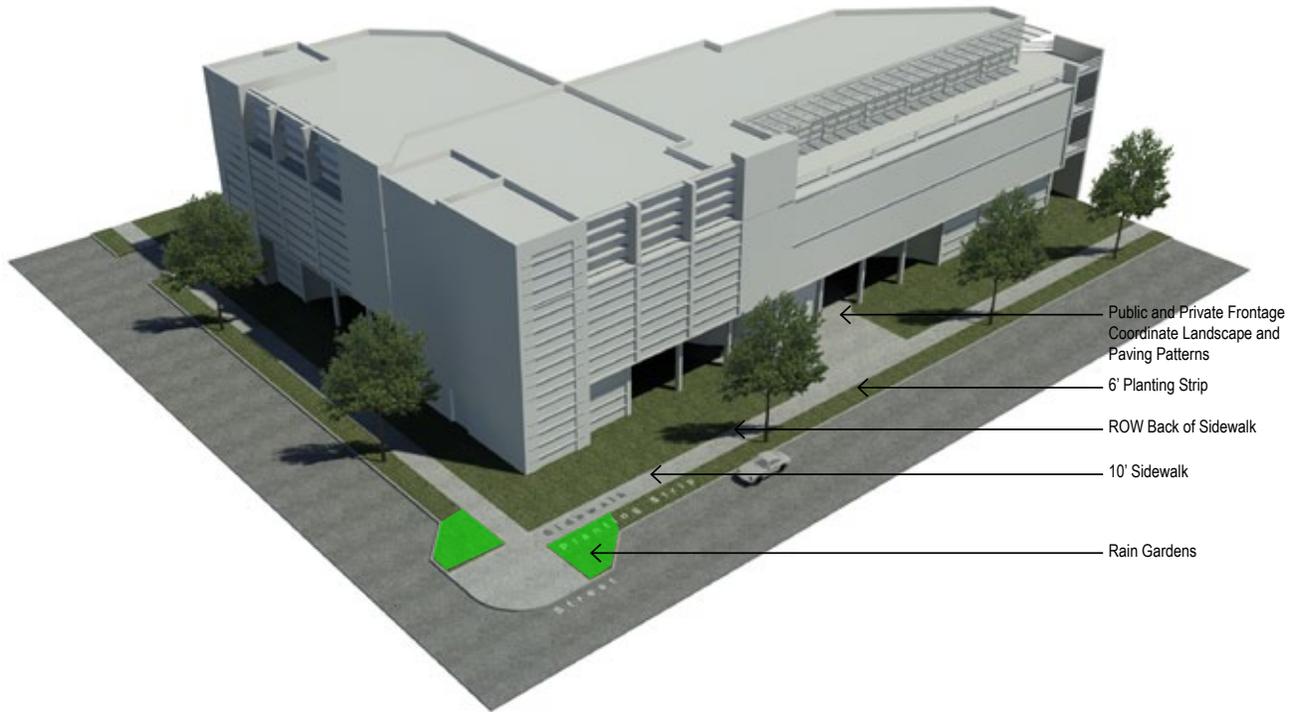
Big Box stores within the Manchester Road Corridor should be configured one of two ways. In prototype 1 the building is set back from the street with a “veil” of smaller buildings visually screening the parking field from Manchester Road. This veil should equal 50% or more the width of the parking field.

Big Box Configuration Prototype 2

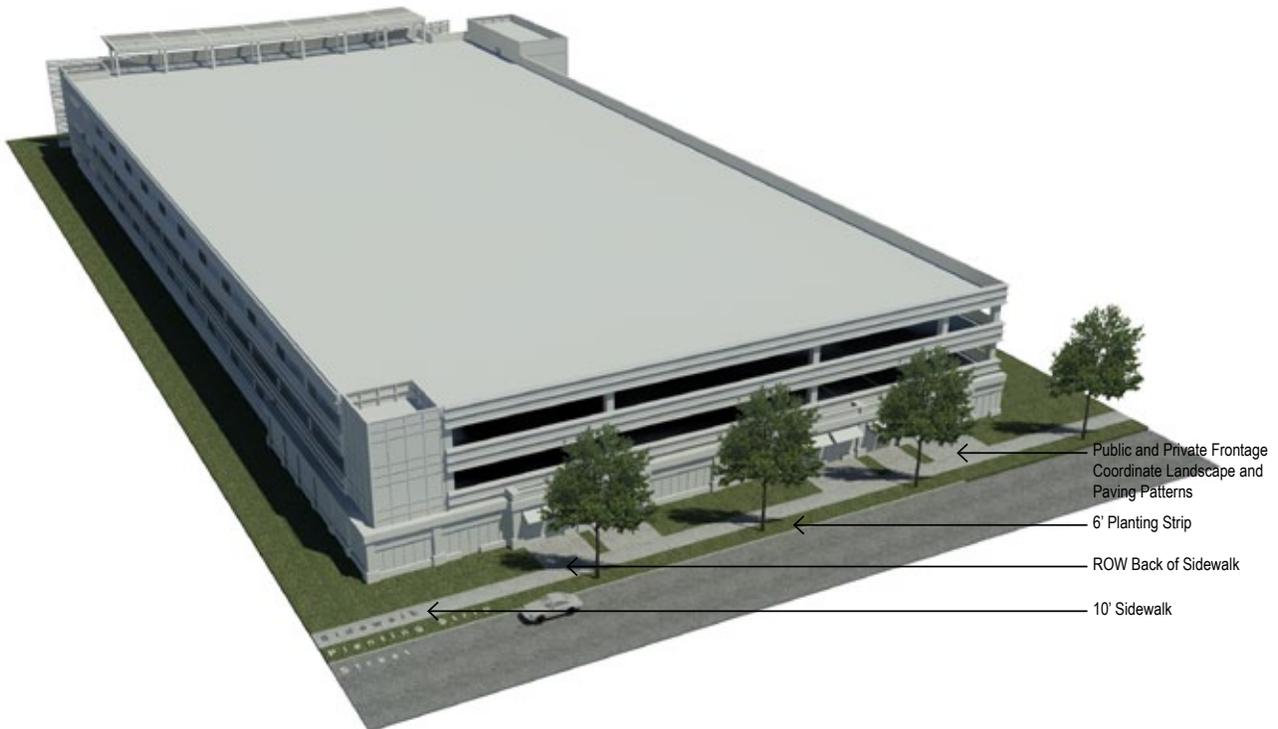


Alternatively, if greater visibility is desired from the street, the building can be placed along Manchester Road but with the entry perpendicular to the street. Again a veil of smaller buildings should screen the mass of the parking field.

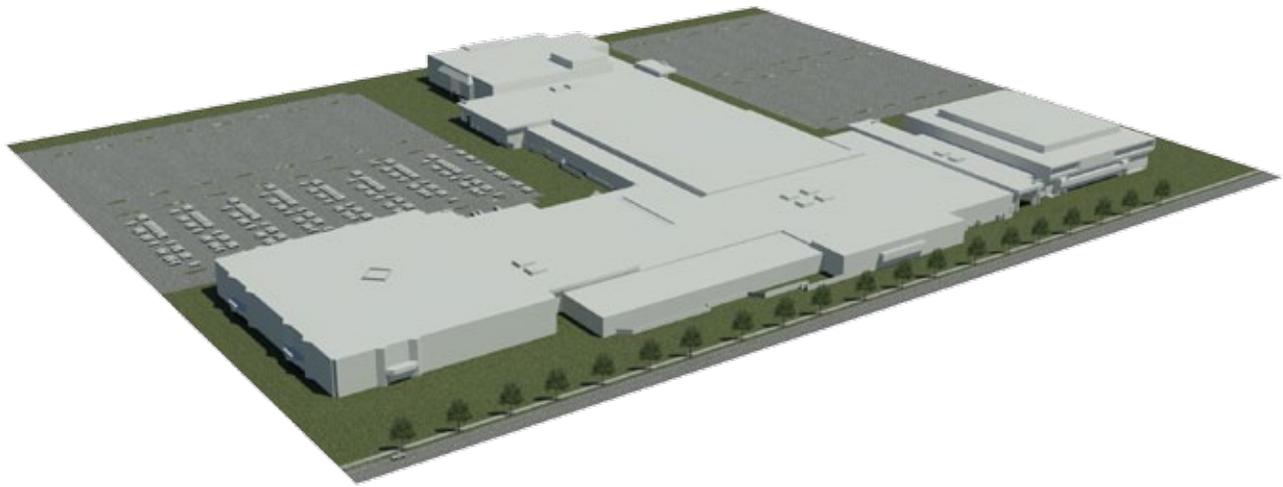
OFFICE BUILDING



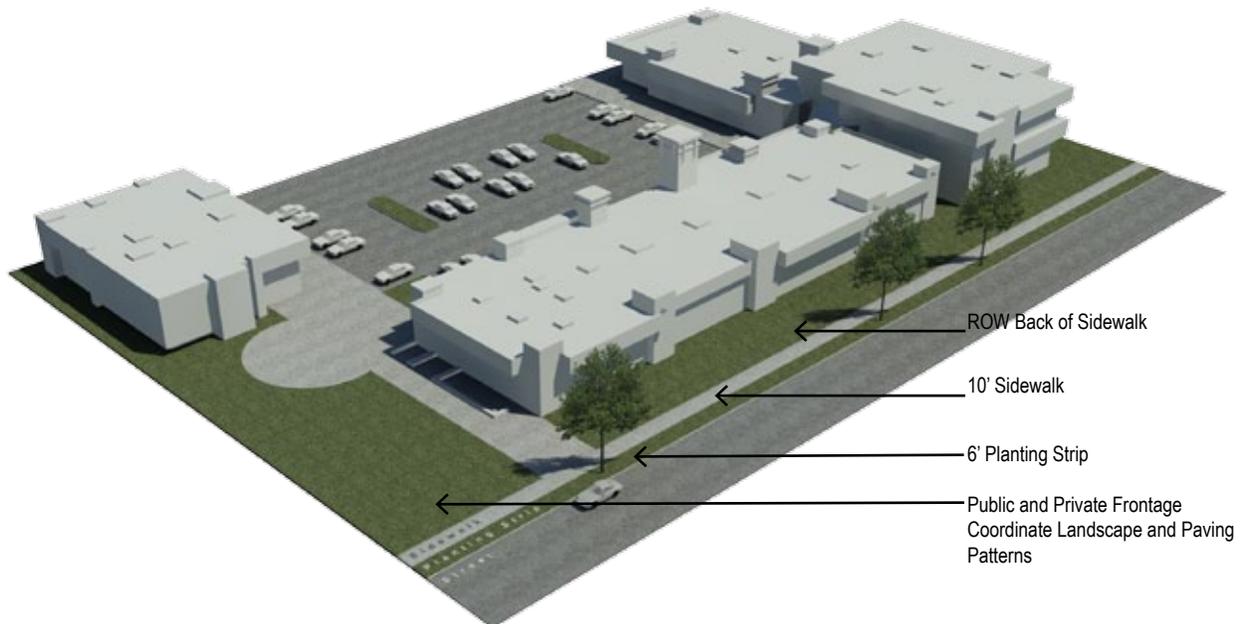
PARKING STRUCTURE - RETAIL



SHOPPING MALL



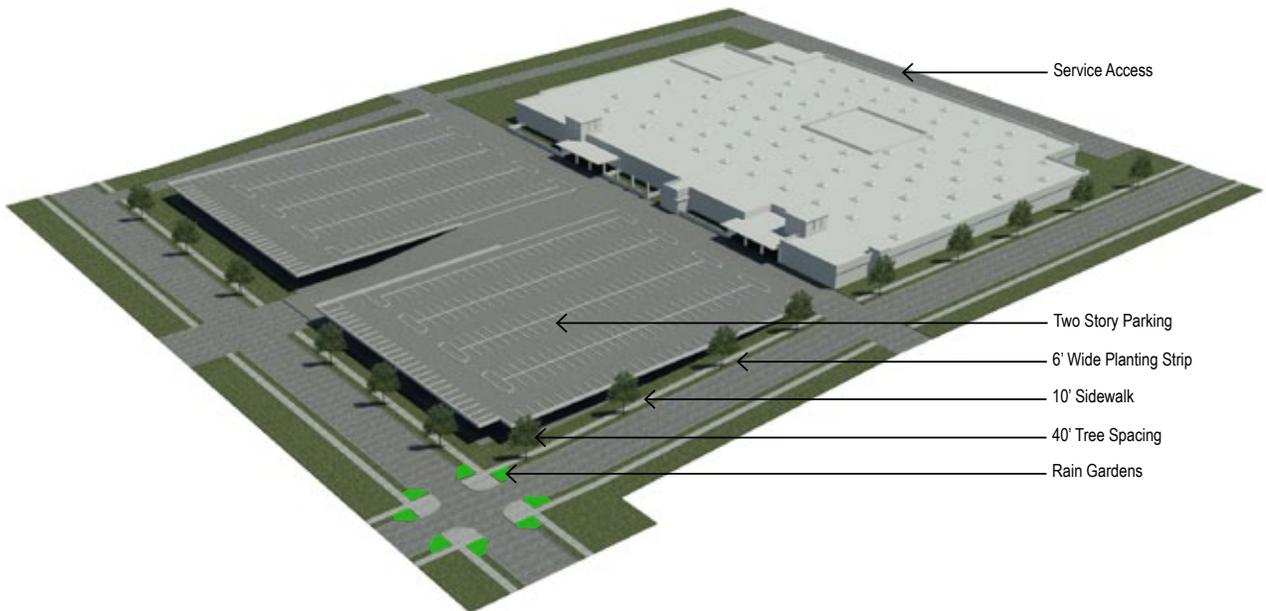
SHOPPING CENTER



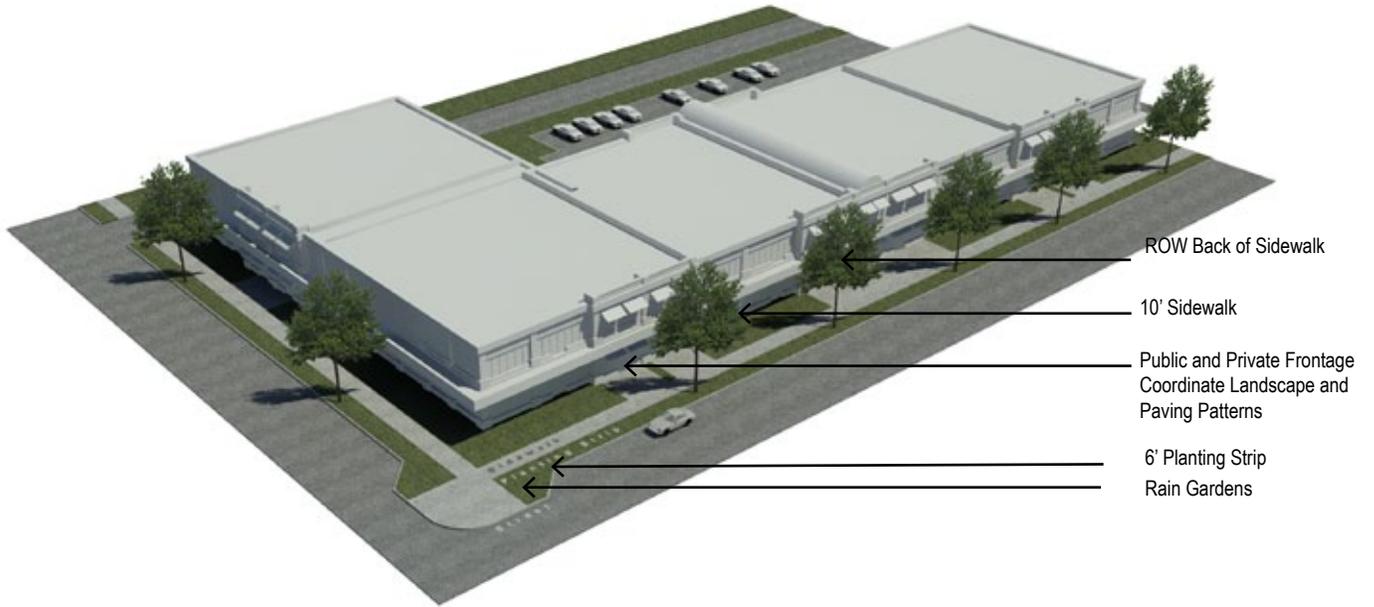
1 STORY BIG BOX



2 STORY BIG BOX



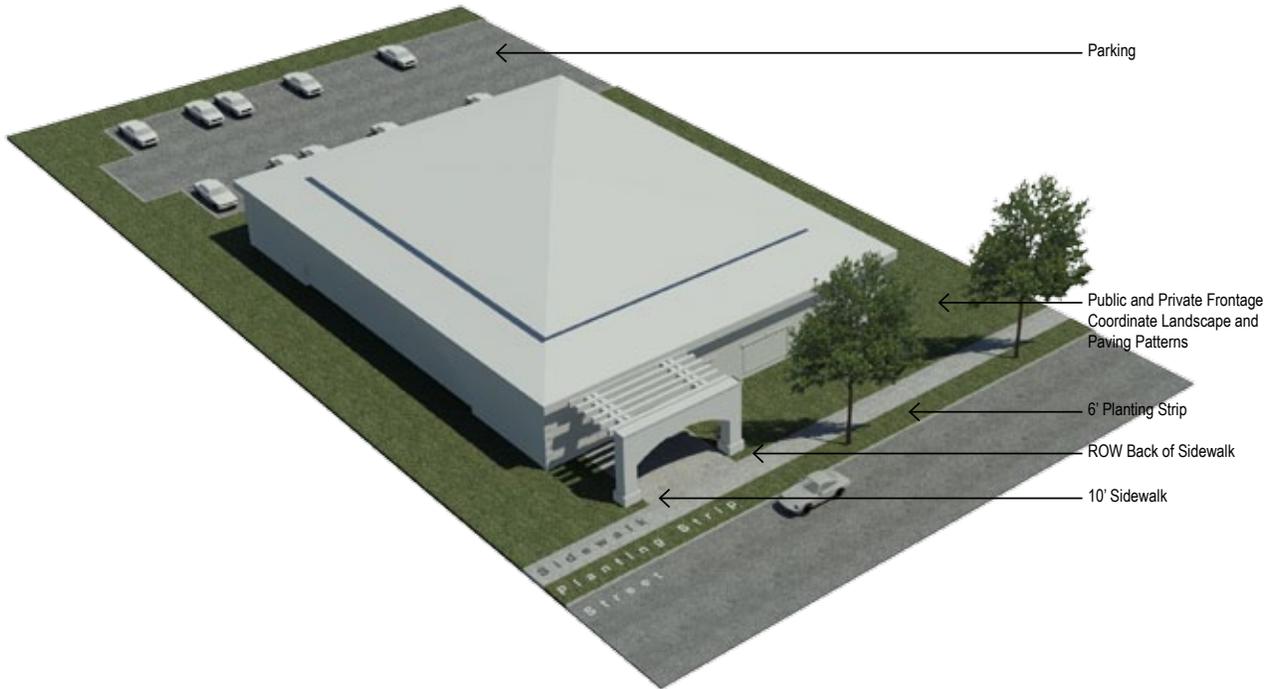
RETAIL



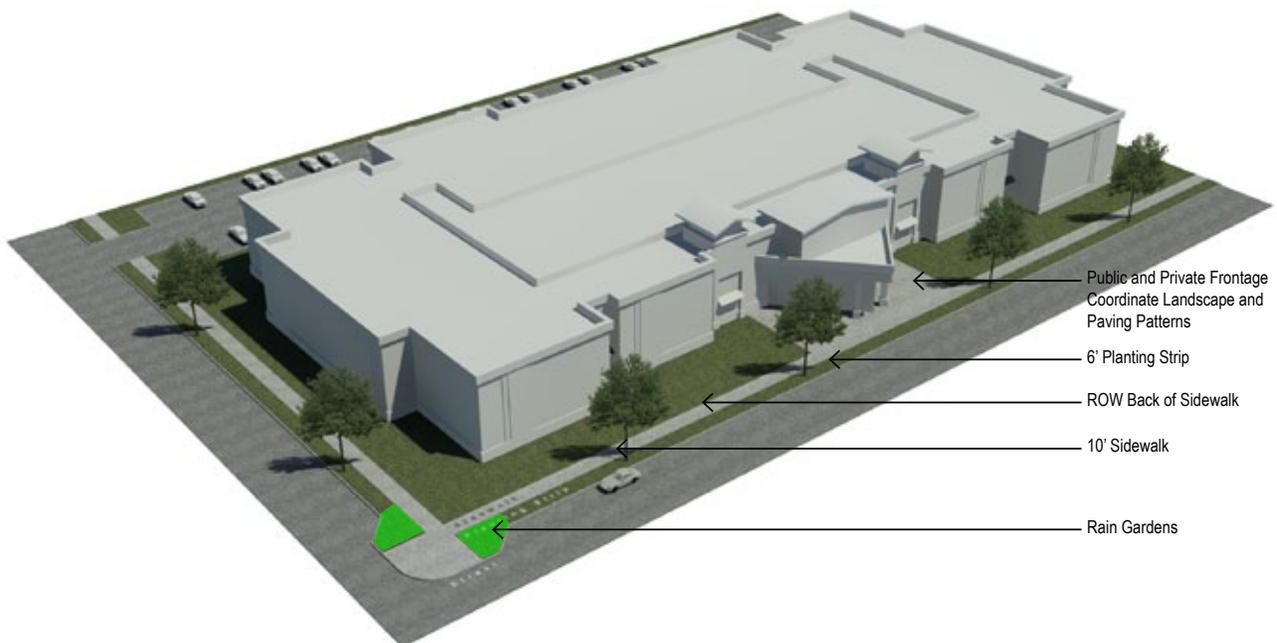
MIXED USE BUILDING



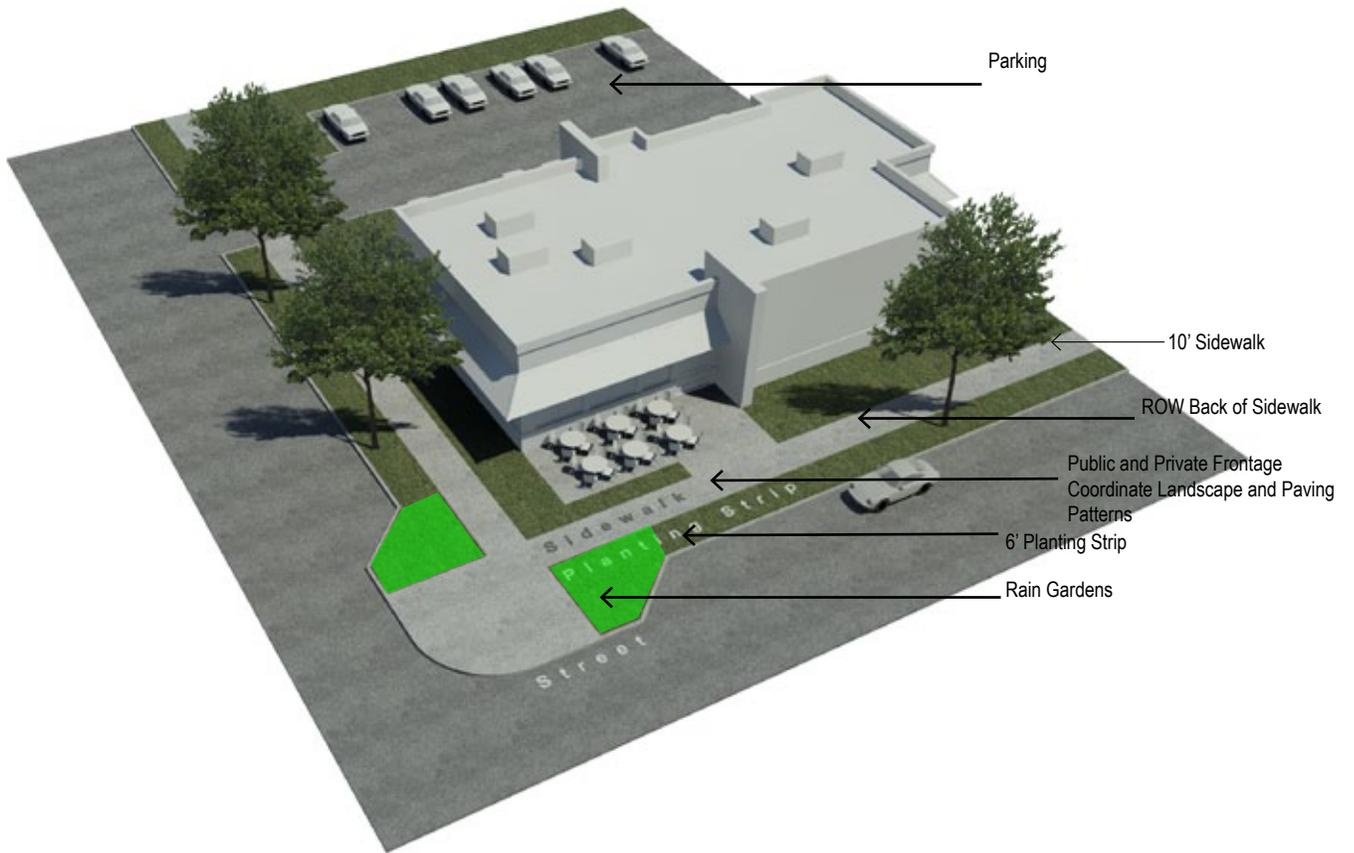
MEDICAL CLINIC



MOVIE THEATER



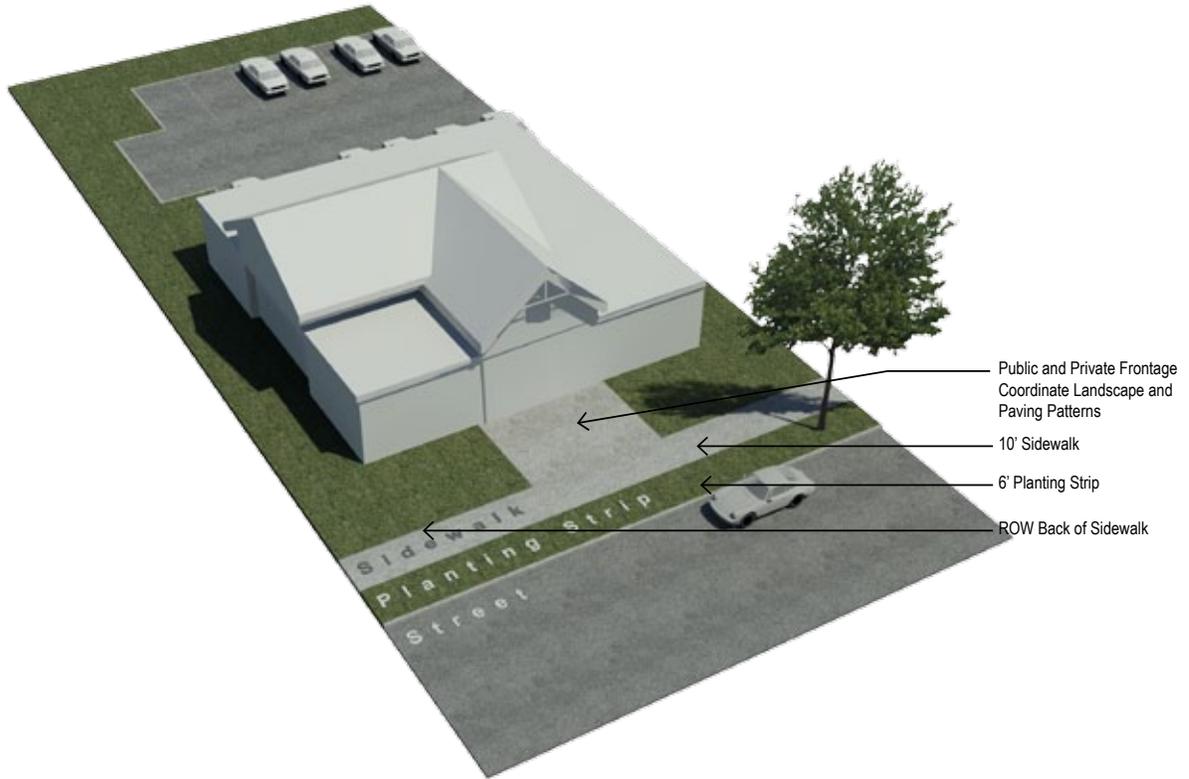
RESTAURANT



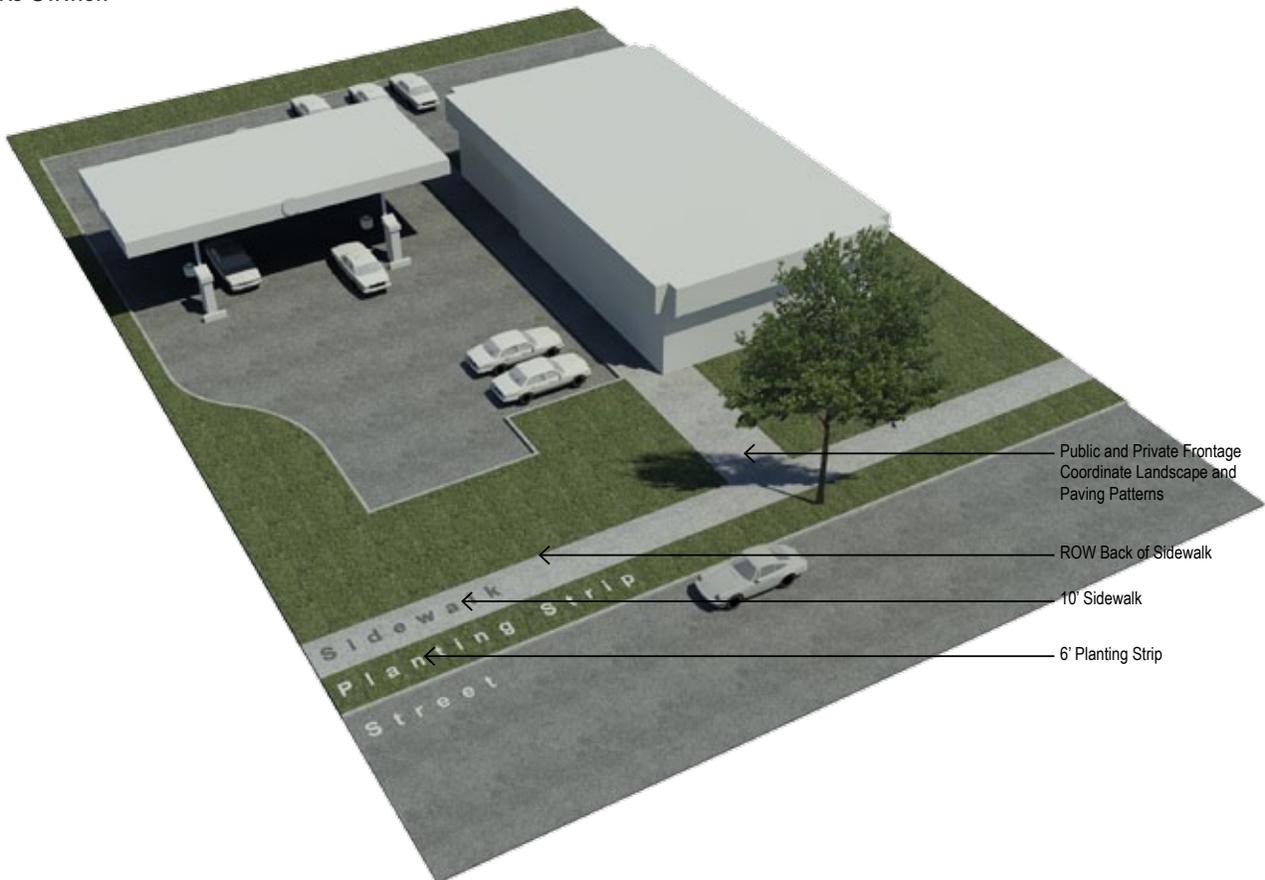
HOTEL



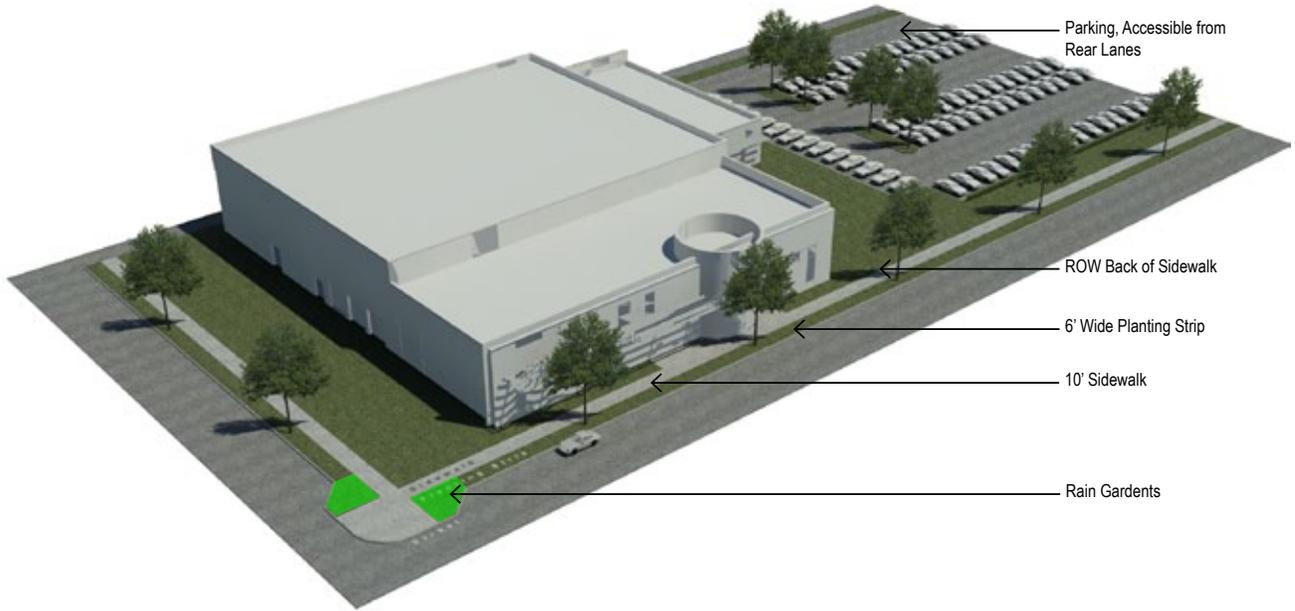
DISPLAY GALLERY



GAS STATION



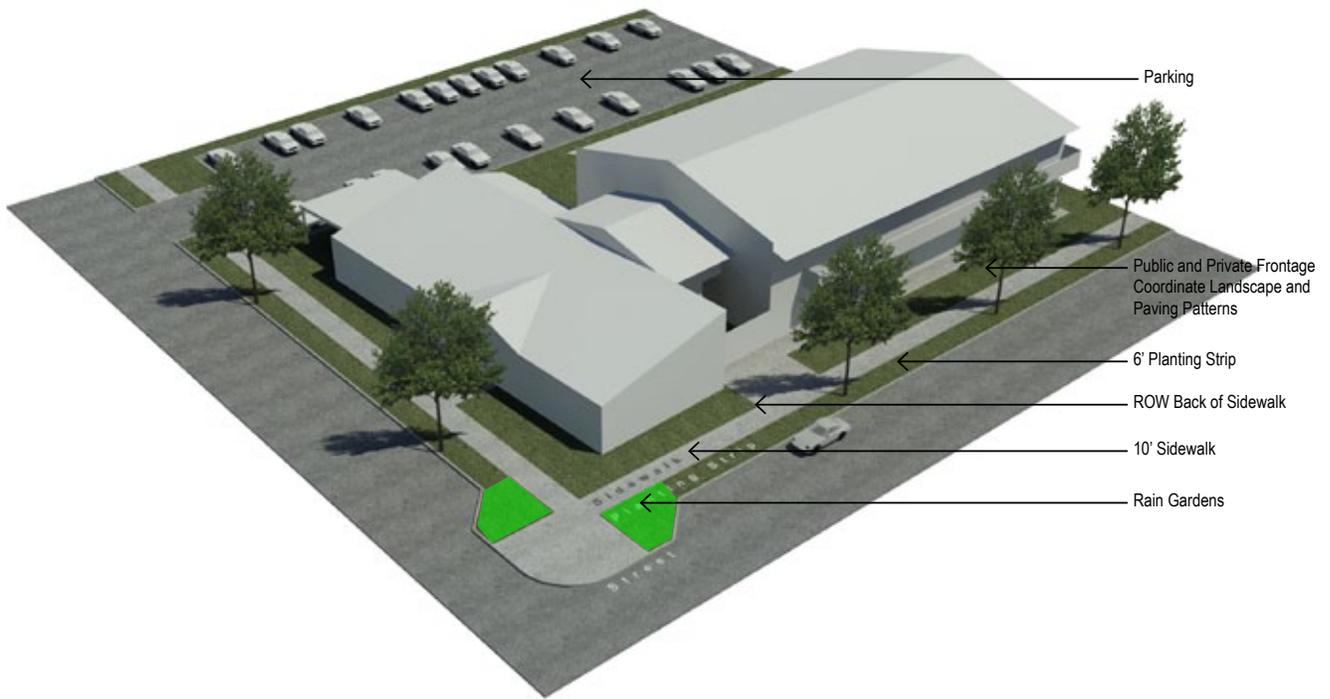
AUTOMOBILE DEALERSHIP



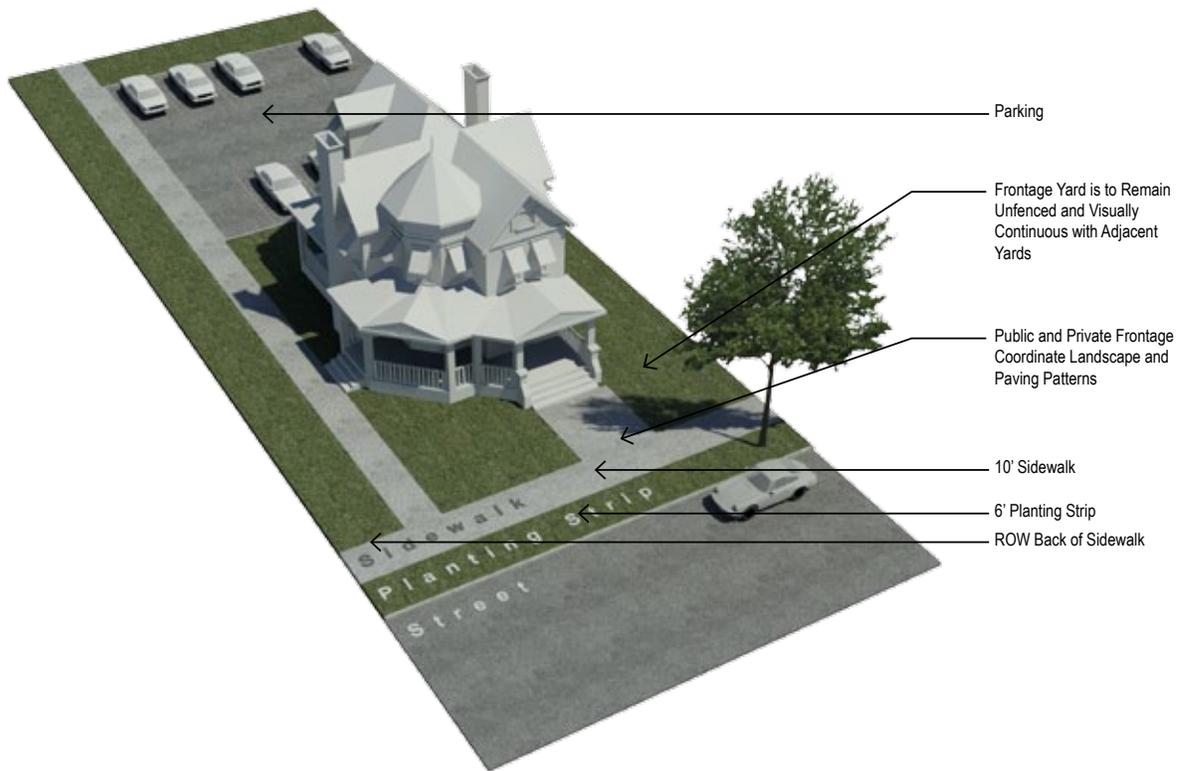
DRUG STORE



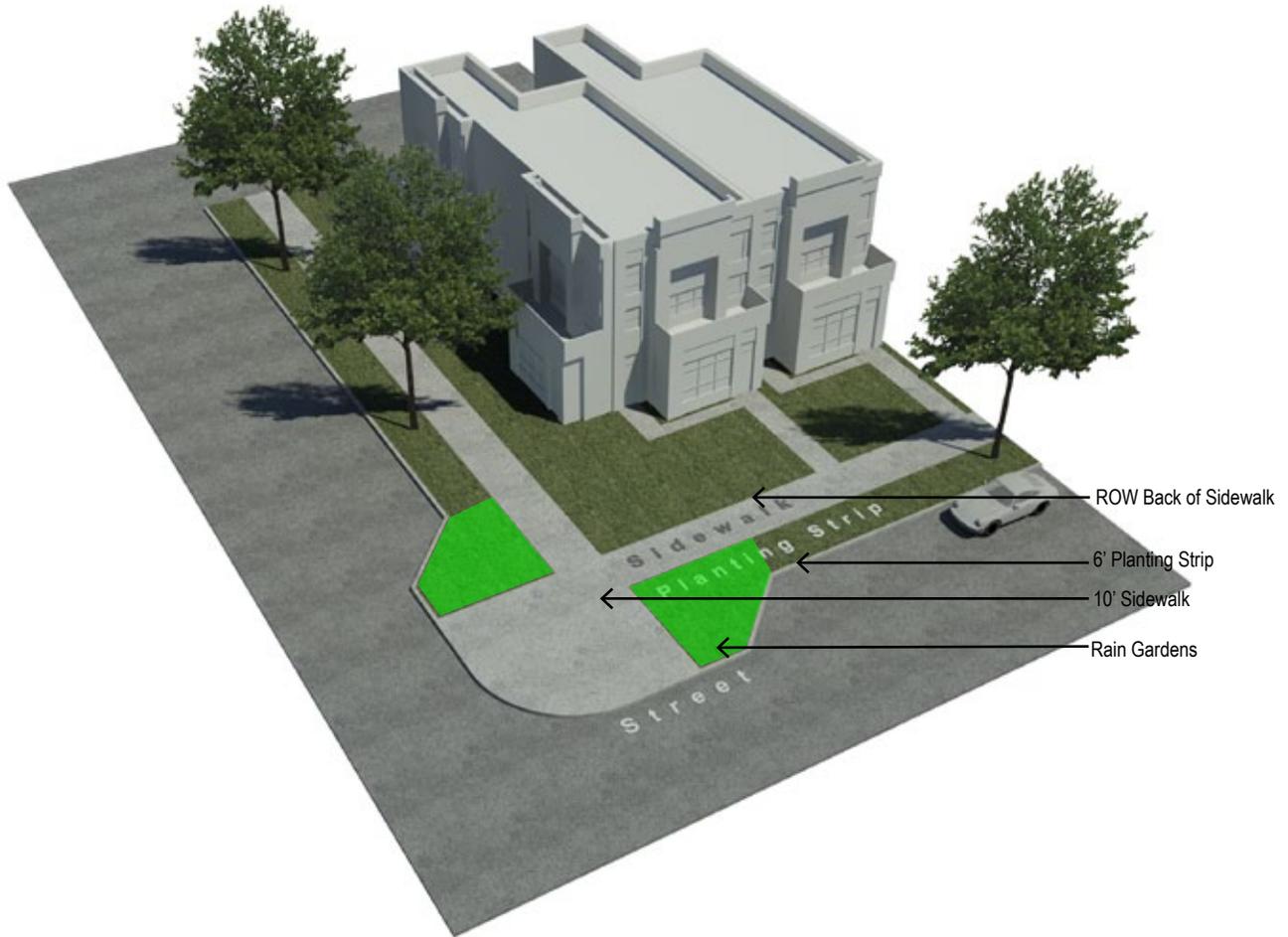
INN LODGING



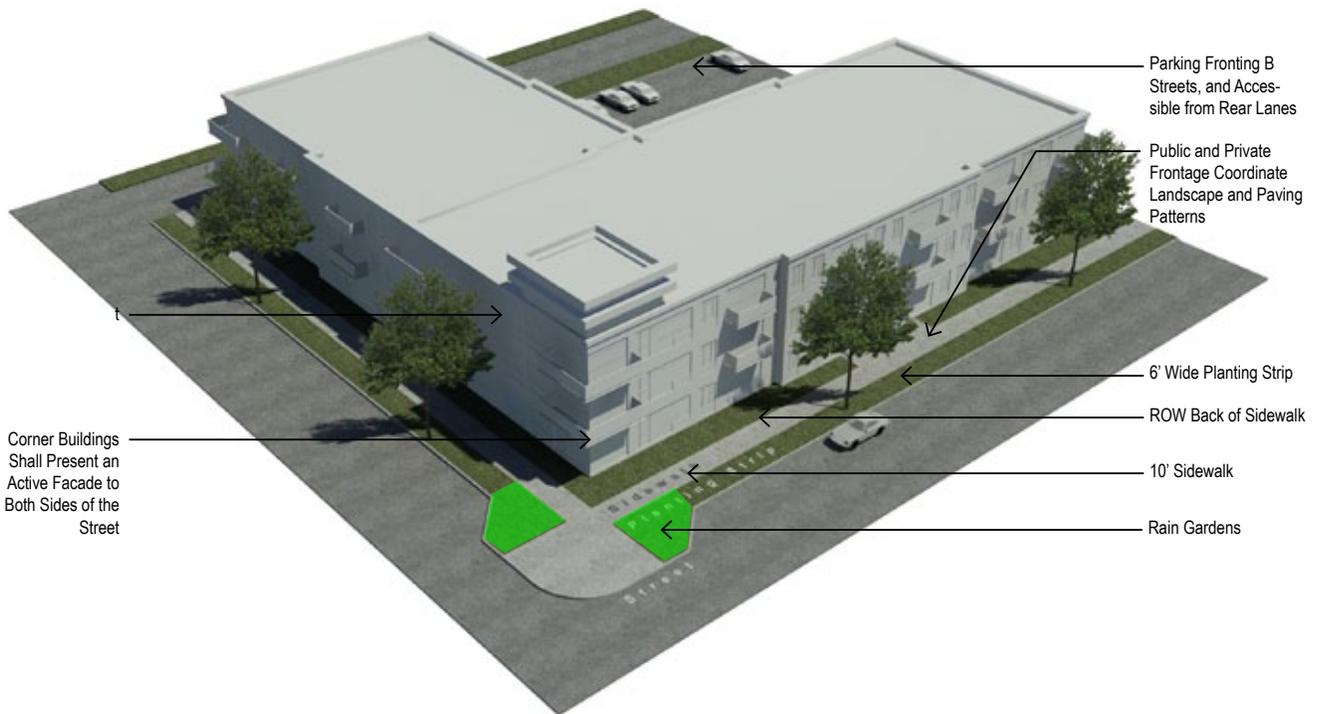
BED AND BREAKFAST LOT



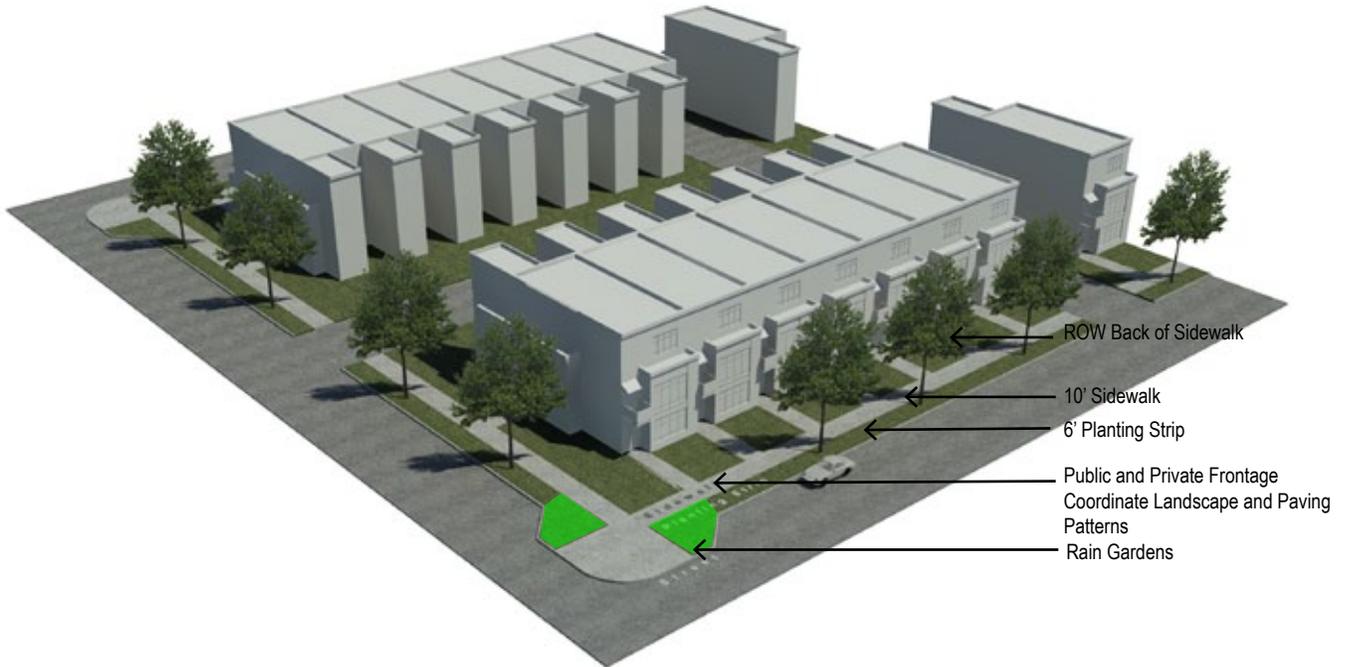
LIVE - WORK BUILDING



3 STORY APARTMENT



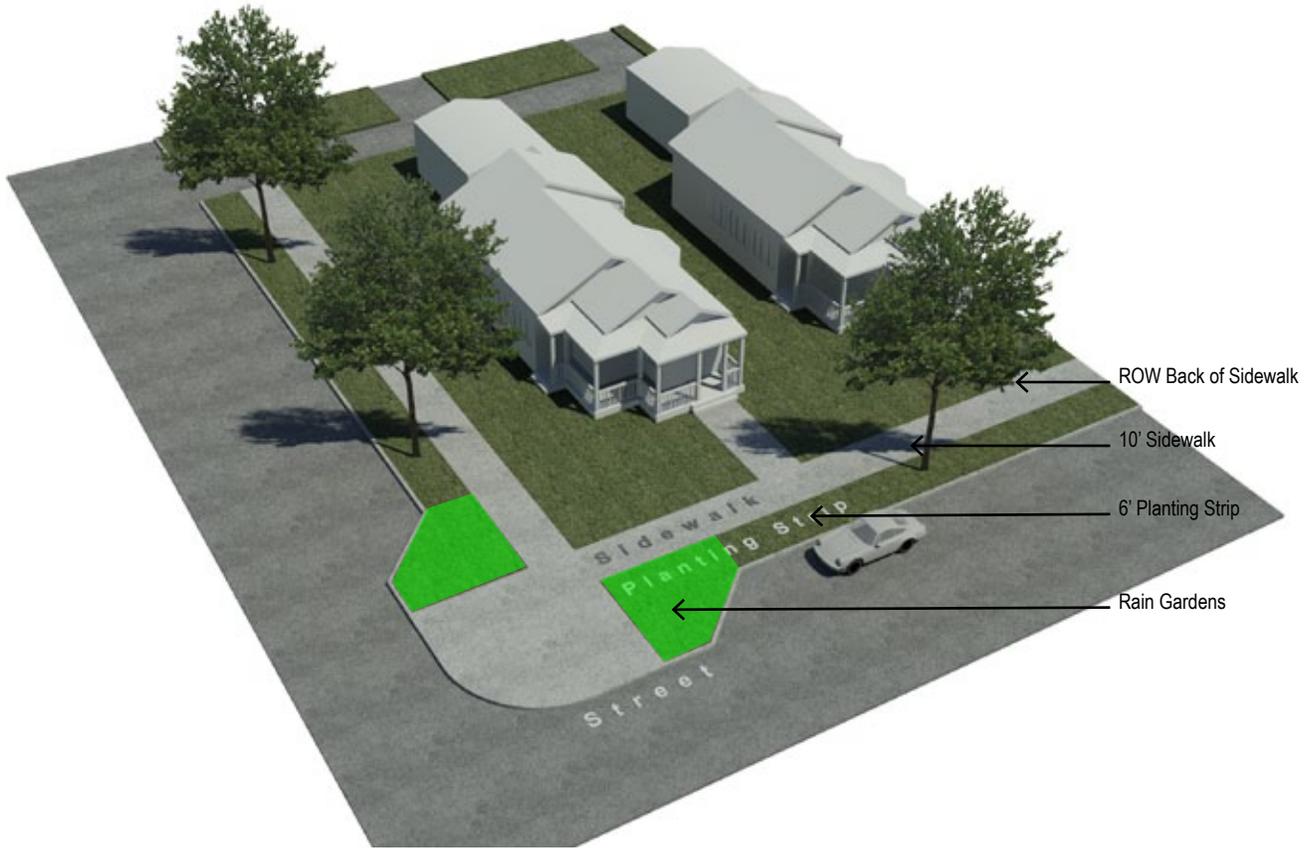
ROW HOUSING



RESIDENTIAL DUPLEX BUILDING



SIDE YARD LOTS



SINGLE FAMILY LOTS

